

Land Information Memorandum

Application

Gareth and Michelle Robertson	No.	L240631
The Network Real Estate	Application date	4/11/2024
Not Given	Issue date	8/11/2024
	Phone	021 388 832
	Fax	

Please Note: This LIM report contains information for the entire legal description below.

Property

Valuation No.	0122110600
Location	13 Taranui Place, Mangawhai
Legal Description	LOT 6 DP 80085
Owner	Robertson Gareth Donald : Robertson Michelle Claire & Others
Area (hectares)	0.0943

Rates

Government Valuation	
Land	\$690,000
Capital Value	\$1,125,000
Improvements	\$435,000
Current Rates Year 2024 to 2025	
Annual Rates	\$4,951.29
Current Instalment	\$1,237.82
Current Year - Outstanding Rates	\$1,237.82
Arrears for Previous Years	\$ 0.00
Next Instalment Due	20/11/2024.
Note: Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year.	
Mangawhai Wastewater Capital Contribution paid.	
Please refer to the Kaipara District Council Long Term Plan 2024/2027 and in particular to the Wastewater Targeted Rates and to the Kaipara District Council Development Contribution Policy 2024 which can be found at the Council website .	

Planning/Resource Management

Zoning:	Kaipara District Plan 2013: Residential – Mangawhai Harbour Overlay. See attached information regarding the District Plan.
Full details of the zone requirements are found in the current District Plan. Relevant zone ordinance can be found at the Council website .	
11/08/11	RESOURCE CONSENT 110075 : Proposed yard infringement on Lot 6 DP 80085 Decision Notified 21/07/11 : GRANTED UNDER DELEGATED AUTHORITY 21/07/11. Copy of Decision and Plan attached.
8/05/06	RESOURCE CONSENT 060058 : Yard infringement for alterations to existing dwelling on Lot 6 DP 80085 Decision Notified 12/04/06 : GRANTED UNDER DELEGATED AUTHORITY 12/04/06. Copy of Decision and Plan attached.

RESOURCE CONSENT 952923 : SUBDIVISION OF LOT 1 DP 65050 INTO 24 LOTS - Created DP 80085 Bond Released 27/01/77 : APPROVED BY COUNCIL 24/01/74 (Found on parent property: 0122110100)

RESOURCE CONSENT 952924 : SUBDIVISION OF PT ALLOT 16 SUBS MOLESWORTH INTO 40 LOTS LARGELY SUPERCEDED BY SP 178 - Created DP 62177 Bond Released 17/10/77 : APPROVED BY COUNCIL 7/11/68 (Found on parent property: 0122110100).

There is currently no information regarding the suitability of this site for further urban development, as such a Site Suitability report would need to be undertaken.

A Geotechnical report and/or specific design and engineering certification may be required for house foundations and any on-site drainage.

Access is private and not maintained by Council.

No other information located.

Building

15/07/11	BUILDING CONSENT 110270: Installation of inground preformed swimming pool: Code Compliance Certificate issued 1/07/13.
24/06/11	BUILDING CONSENT 110221 : Addition to kitchen: Code Compliance Certificate issued 13/09/12.
24/01/06	BUILDING CONSENT 060008: Dwelling Alterations: Code Compliance Certificate issued 9/02/11.
7/04/95	BUILDING CONSENT 950003 : SINGLE VERSATILE GARAGE: Code Compliance Certificate issued 13/03/96.
9/11/88	BUILDING PERMIT P&D 2616 R TOLLEMACHE M K LEE SEPTIC TANK & EFFLUENT DISPOSAL.
4/09/87	BUILDING PERMIT E 45334 R P & S A TOLLEMACHE APPLICANT CONVERT SHED TO DWELLING.
5/02/83	BUILDING PERMIT A 63985 R P TOLLEMACHE J E INDUSTRIES STORE SHED.
No other information located.	

Sewer and Water

Sewer	Connected – Mangawhai Wastewater.
Stormwater	No information located.
Water	Not available.
Copy of drainage plan attached.	
No other information located.	

Land and Building Classifications

No information located.	
Refer to copy of map from District Plan for other classifications in the immediate vicinity.	

Compliance with Swimming Pool Bylaw

5/09/12	Swimming Pool SW0353: Pool barriers comply 9/10/2023: Expires 2/10/2026.
No other information located.	

Land Transport Requirements

No information located.	
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Special Land Features

No information located.

Licences/Environmental Health

No information located.

Network Utility Operators

Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant Network Utility Operator.

Other Information

No title search has been done on this property.

Notes

1. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted. In the interests of safety, an inspection of any fireplace within the dwelling may be requested of Council at any time, after paying the appropriate fee.
2. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on information available to it and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
3. Please note that the property was neither inspected nor visited in the course of the preparation of this Land Information Memorandum.
4. Other information may be held by other authorities, for example the [Northland Regional Council](#) or [Heritage New Zealand](#).
5. This Land Information Memorandum is a disclosure of information (which may be historical) held by the Council at the time of application and is subject to change.
6. Any enquiry not accompanied by a fee will be invoiced separately. (All prices are GST inclusive).
7. No Record of Title was supplied with this application for this Land Information Memorandum. The Council therefore does not warrant that the information supplied is related to the correct property.
8. Any Resource or Building consents run with the land; if the project is incomplete, there may be existing/additional charges to pay for which the new owner will be liable.
9. A Development Contribution and or Financial Contribution may be payable if development is carried out, the effect of which is to require new or additional assets or assets of increased capacity and as a consequence Council incurs capital expenditure to provide appropriately for those assets and that capital expenditure is not otherwise funded or provided for. Future rating policies are outlined in Council's Long Term Plan 2021-2031.

Name: 

Date: 8/11/2024.

Performance Standards of the Kaipara District Plan 2013

To view the performance standards (rules) for each zone please refer to the relevant chapter of the Kaipara District Plan 2013:

Rural - Chapter 12

Residential - Chapter 13

Business: Commercial and Industrial - Chapter 14

Māori Purposes: Māori Land – Chapter 15A

Māori Purposes: Treaty Settlement Land – Chapter 15B

Estuary Estates – Chapter 16

All Zones - Chapter 10 Network Utilities and Chapter 11 Transport Network

How can I view the Kaipara District Plan 2013?




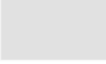
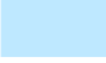

If you have access to the internet and want access to the most up to date information, visit the website

www.kaipara.govt.nz

If you do not have access to a computer you can visit one of the following locations to view a hard copy of the Plan:

Venue	Opening Hours	
Kaipara District Council Office – Dargaville 32 Hokianga Road Dargaville Telephone 0800 727 059	Monday – Tuesday Wednesday Thursday - Friday	8.00am to 4.30pm 9.00am to 4.30pm 8.00am to 4.30pm
Kaipara District Council Office – Mangawhai Unit 5, The Hub 6 Molesworth Drive Telephone 0800 727 059	Monday – Friday	9.30am to 3.00pm
Dargaville Library Corner Poto and Normanby Streets Dargaville Telephone 0800 534 542	Monday – Wednesday Thursday Friday Saturday	9.30am to 5.00pm 9.30am to 6.00pm 9.30am to 5.00pm 9.30am to 12.30pm
Mangawhai Library 45 Moir Street Mangawhai Telephone 0800 532 542	Tuesday - Wednesday Thursday Friday Saturday	10.00am to 5.00pm 10.00am to 6.00pm 10.00am to 5.00pm 10.00am to 1.00pm
Kaiwaka Library Corner State Highway 1 and Kaiwaka Mangawhai Road Kaiwaka Telephone (09) 431 2539	Monday Tuesday Wednesday - Saturday	4.00pm to 6.00pm Closed 10.00am to 2.00pm
Maungaturoto Library Centennial Building Hurdall Street Maungaturoto Telephone (09) 431 8811	Monday – Tuesday Wednesday Thursday – Saturday Friday Terms 1 & 4 also	10.30am to 1.00pm 10.30am to 4.00pm 10.30am to 1.00pm 4.00pm to 6.00pm
Paparoa Library Brook House 1980 Paparoa Valley Road State Highway 12 Paparoa Telephone (09) 431 7555	Monday Tuesday Wednesday Thursday Friday Saturday	2.00pm to 4.30pm 10.00am to 1.00pm 2.00pm to 4.30pm 10.00am to 4.00pm 11.00am to 1.30pm 10.00am to 12.00pm











All Maps

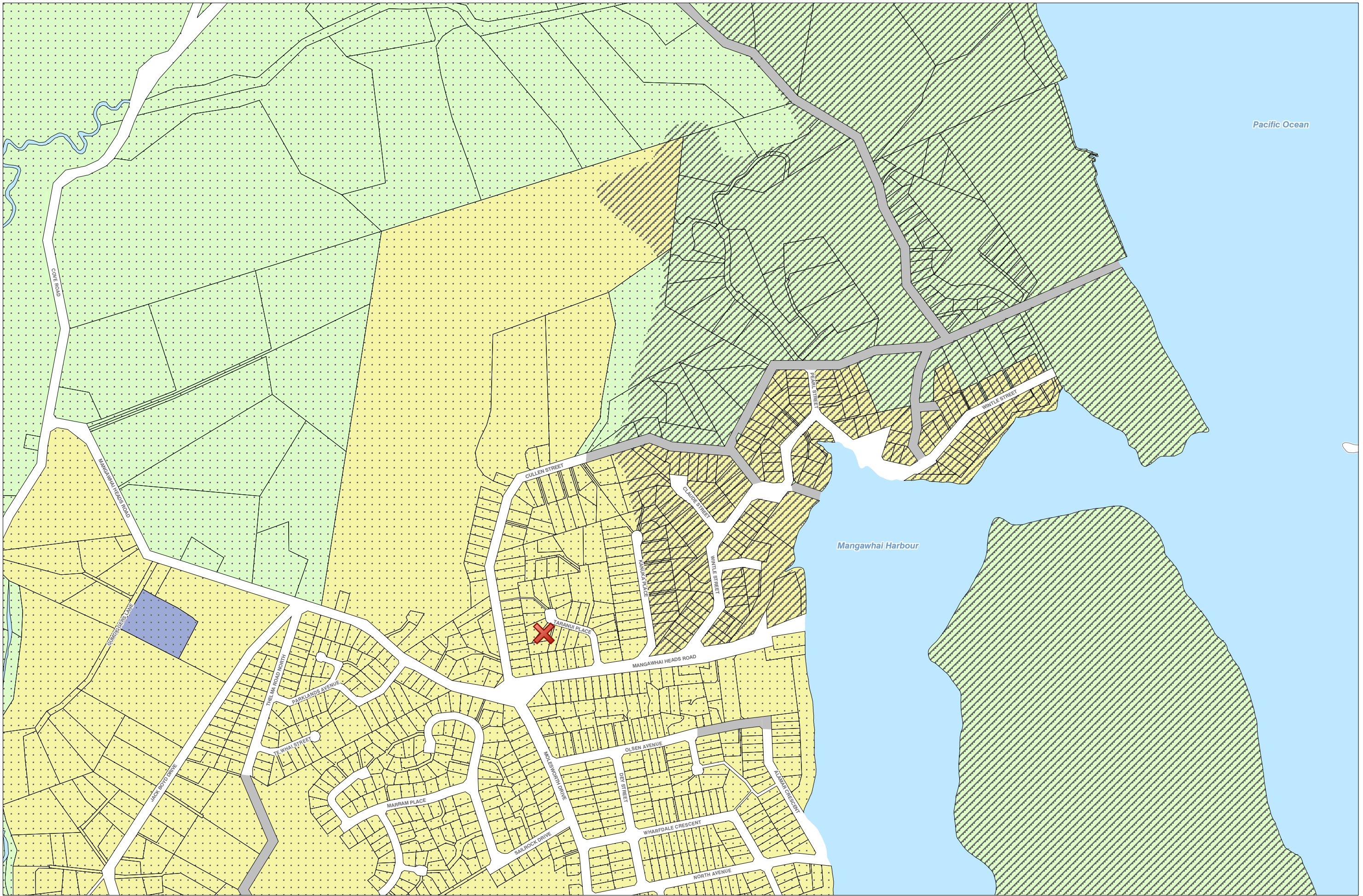
-  State Highway
-  Railway
-  Bridge or Causeway
-  Unformed Road
-  Sea, Lakes and Rivers
-  Parcel Boundary

Map Series One - Land Use

-  Estuary Estates
-  Rural
-  8m Height Restriction
-  Business: Commercial
-  Business: Industrial
-  Residential
-  Maori Land
-  Treaty Settlement
-  Estuary Estates
-  East Coast Overlay
-  Harbour Overlay
-  Kai Iwi Lakes Overlay
-  West Coast Overlay

Map Series Two - Sites, Features and Units

-  Heritage Resource
-  Notable Tree
-  Maungaturoto Dairy Factory Wastewater Pipeline
-  110-220 kV Electricity Transmission Line
-  50 kV Electricity Transmission Line
-  Designation Areas
-  Outstanding Natural Landscape
-  Reserve Management Units
-  Areas of Significance to Maori
-  Maungaturoto Dairy Factory Noise Contour Boundary (45dBA leq)





Rates Information - 2024/25

Valuation ID		0122110600	
Property Description			
Location (GIS)	13 Taranui Place, Mangawhai		
	View in Google Maps		
Legal Description	LOT 6 DP 80085		
Certificate of Title	36D/413		
Use	91 Residential: Single Unit (other than bach)	Category	RD198
TORAS	111000	Category Group	Residential Dwelling fully or semi detached
Tenure	Property is not leased. Owner is also occupier.	Ward	4
Ownership	Private: Individual	Region	1
Rateability	Rateable	Zone	9A
Apportionment	Std property - Not Applicable, Not apportionment		

Valuations

Area (Hectares)	0.0943	Land Value	690,000
Improvements	435,000	Capital Value	1,125,000
Nature of Improvements	DWG OB OI POOL		
Valuation Date	1/09/23		

Rates for Current Year - 2024/25

Type	Description (Basis)	Factor	Amount \$
002	Uniform Annual General Charge - Rating Unit	1.00	725.00
012	Mangawhai Stormwater - (L)	690,000.00	388.82
081	Mangawhai Harbour Restoration (MHR) - Rating Unit	1.00	80.00
233	General Rate Residential & Small Sized Lifestyle - (L)	690,000.00	1,314.52
201	Mangawhai Wastewater Connected - SUIP	1.00	1,362.83
239	Parks and Libraries Targeted Rate - (U)	1.00	372.77
	** Kaipara District Council Sub-Total		4,243.94
250	NRC Targeted Council Services Rate - (U)	1.00	242.60
253	NRC Pest Management Rate - (U)	1.00	117.87
254	NRC Targeted Flood Infrastructure Rate - (U)	1.00	40.67
255	NRC Targeted Emergency and Hazard Management Rate - (U)	1.00	66.69
256	NRC Targeted Regional Rescue Services Rate - (U)	1.00	11.30
257	NRC Targeted Regional Sporting Facilities Rate - (U)	1.00	16.18
259	NRC Targeted Land and Freshwater Management Rate - (L)	690,000.00	195.20
260	NRC Targeted Regional Economic Development Rate - (L)	690,000.00	16.84
	** Regional Council Sub-Total		707.35
	Total Rates Levied 2024/25		4,951.29
	(GST on Rates Levied)		645.82
	Rates Last Year 2023/24		4,464.11
	Last Year's Final Instalment		1,116.02

Rates Last Year 4,464.11 Instalments YTD 2,475.64 Current Instalment 1,237.82

History

Year	Land Value	Capital Value	Annual Rates
2023/24	435,000	820,000	4,464.11
2022/23	435,000	820,000	4,172.11
2021/22	435,000	820,000	3,878.17
2020/21	385,000	600,000	4,030.49
2019/20	385,000	600,000	3,825.19
2018/19	385,000	600,000	3,648.09
2017/18	265,000	425,000	3,239.52
2016/17	265,000	425,000	3,180.53
2015/16	265,000	425,000	3,135.29
2014/15	255,000	410,000	3,006.58



Kaipara te Orangahui • Two Oceans Two Harbours

KAIPARA DISTRICT COUNCILIn the Matter of:

*The Resource Management Act
1991*

AndIn the Matter of:

*An application under Section 88 of
the Resource Management Act
1991 made by Geoffrey & Kathy
Lyons*

File Reference:

RM110075

Decision on Resource Consent Application

- a) Pursuant to Section 93(1) of the Resource Management Act 1991, the Kaipara District Council is satisfied that the application is for a Limited Discretionary Activity and that, as the adverse effects of the proposal will be less than minor, the application need not be notified. The Council is further satisfied that, after taking into due consideration the requirements of Section 94A(a) and Section 94B, written approval has been obtained from all parties considered to be adversely affected by the proposal. The Council is further satisfied that no special circumstances exist that require notification of the consent application in accordance with Section 94C(2) of the Resource Management Act 1991.
- b) Pursuant to Section 104, 104C, and 108 of the Resource Management Act 1991, the Kaipara District Council grants consent to the application by Geoffrey & Kathy Lyons to construct a kitchen extension on the property legally described as Lot 6 DP 80085 (CT NA 36D/413), subject to compliance with the following conditions:

Conditions of Consent

- 1) The proposed activity shall be carried out in accordance with the plans and all information submitted with the application, being plans referenced 101, 102, 103 and 301 dated 4 May 2011.
- 2) The consent holder shall pay all charges set by the Council under Section 36 of the Resource Management Act 1991, including any administration, monitoring and supervision charges relating to the conditions of this resource consent. The consent holder will be advised of the charges as they fall.

Reasons for Decision

1. The proposed development is a Limited Discretionary Activity under the District Plan and satisfies the requirements of Sections 104 and 104C of the Act.

RM 110075

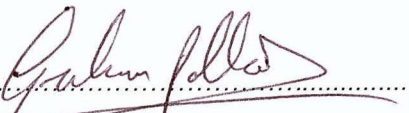
Lyons – Decision

2. *The proposal is considered to be consistent with the Objectives and Policies of the District Plan and the purposes and principles of the Resource Management Act 1991. The proposal to construct the kitchen extension over an existing deck on the site will not adversely affect the existing residential character or amenity of the surrounding environment.*
3. *Te Uri o Hau have assessed the application.*

Advice Notes

1. *All archaeological sites are protected under the provisions of the Historic Places Act 1993. It is an offence under that act to modify, damage or destroy any archaeological site, whether the site is recorded or not. Application must be made to the New Zealand Historic Places Trust for an authority to modify, damage or destroy an archaeological site(s) where avoidance of effect cannot be practised.*
2. *If subsurface archaeological evidence (shell, midden, hangi, storage pits, etc) should be unearthed during construction, work should cease in the immediate vicinity of the remains and the Historic Places Trust should be contacted.*
3. *In the event of koiwi (human remains) being uncovered, work should cease immediately and the tangata whenua of Te Uri o Hau shall be contacted so that appropriate arrangements can be made.*

Signed:



21.7.2011

Regulatory Manager

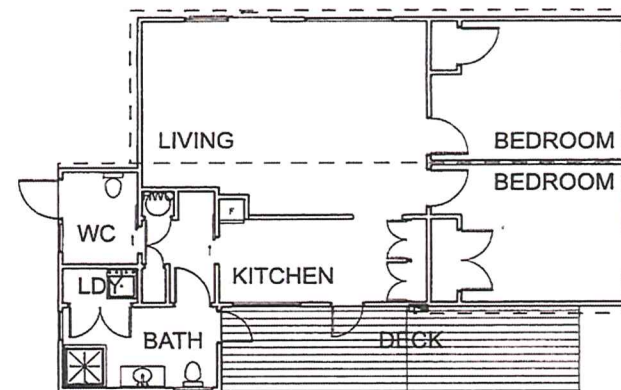
Kaipara District Council*Signed under delegated authority pursuant to Section 34A of the Resource Management Act 1991.*

CLIENT

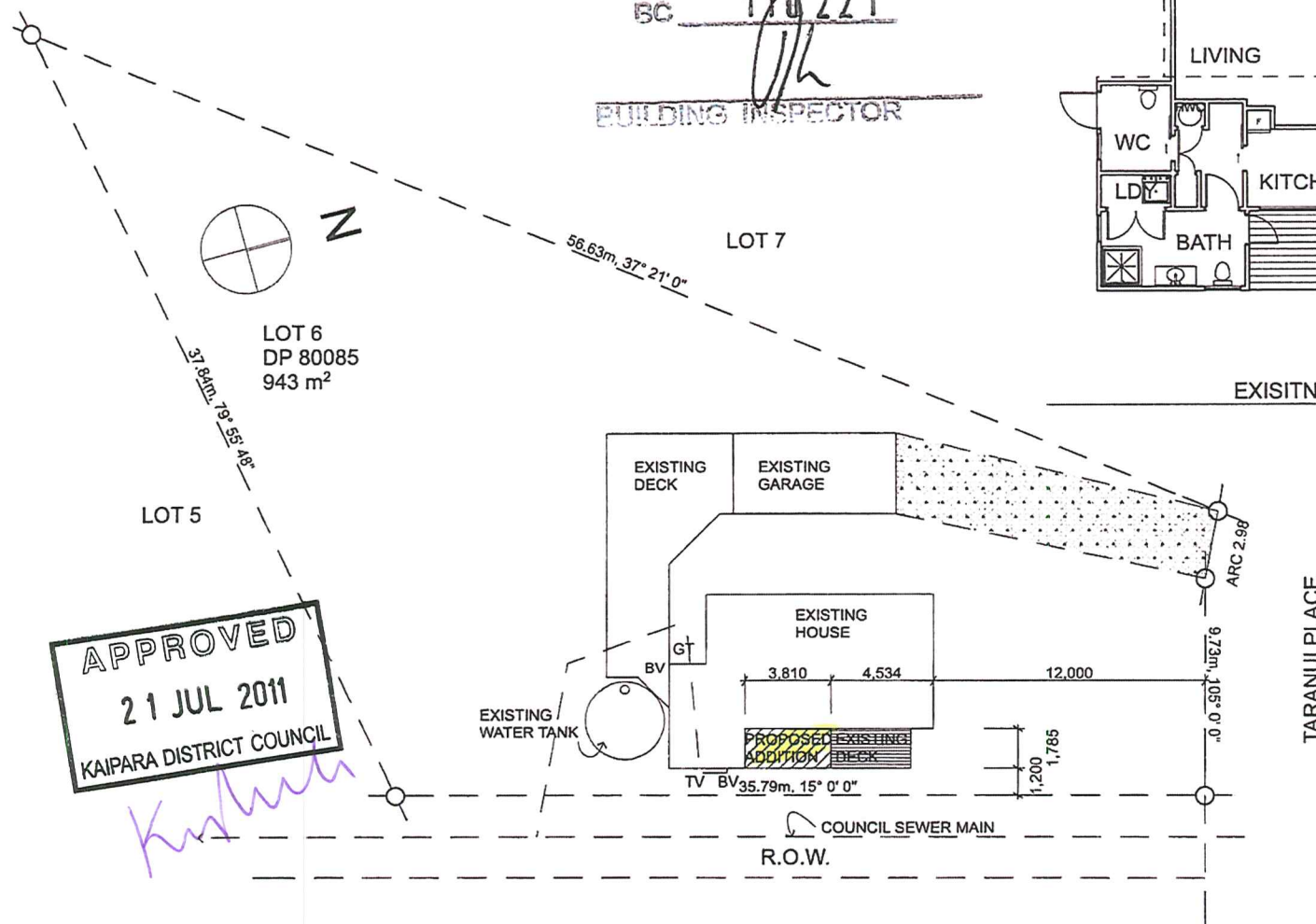
KAIPARA DISTRICT COUNCIL

SC 110 221

BUILDING INSPECTOR



EXISTING FLOOR PLAN 1:100



APPROVED
21 JUL 2011
KAIPARA DISTRICT COUNCIL

SITE PLAN

1:200

Job Title
11013 ALTERATIONS

For
K LYONS

At
**13 TARANUI PLACE
MANGAWHAI**



Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

SITE & EXISTING PLANS

Drawing Number
101

Scale
1:200, 1:100

ALL DIMENSIONS TO BE VERIFIED ON SITE

Klassic @ xtra.co.nz - Cherie.

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Low risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		6

CLADDING

PLY DIRECT FIXED TO FRAMING OK AS RISK SCORE <= 6

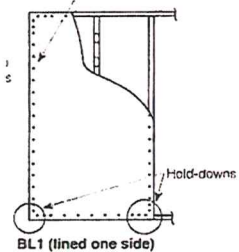
BRACING

ADDITION AREA 6.8 m²
ADDITION LENGTH 3.8 m
ADDITION WIDTH 1.8 m

WIND DEMAND:
FOUNTAIN ACROSS 38 ALONG 45
TOTAL ACROSS 144 ALONG 81
1 ANCHOR PILE @ 160 BU = OK

WALLS	ACROSS 18	ALONG 25
TOTAL	ACROSS 68	ALONG 47
NAME	TYPE	LENGTH
ALONG		
A.1	BL.1	0.900
ACROSS		
M.1	BL.1	0.600
N.1	BL.1	0.900
TOTAL		
		193 = OK

32mm GIB Braceline® Screws or 35mm GIB Braceline® Nails at 150mm centres to perimeter of brace element



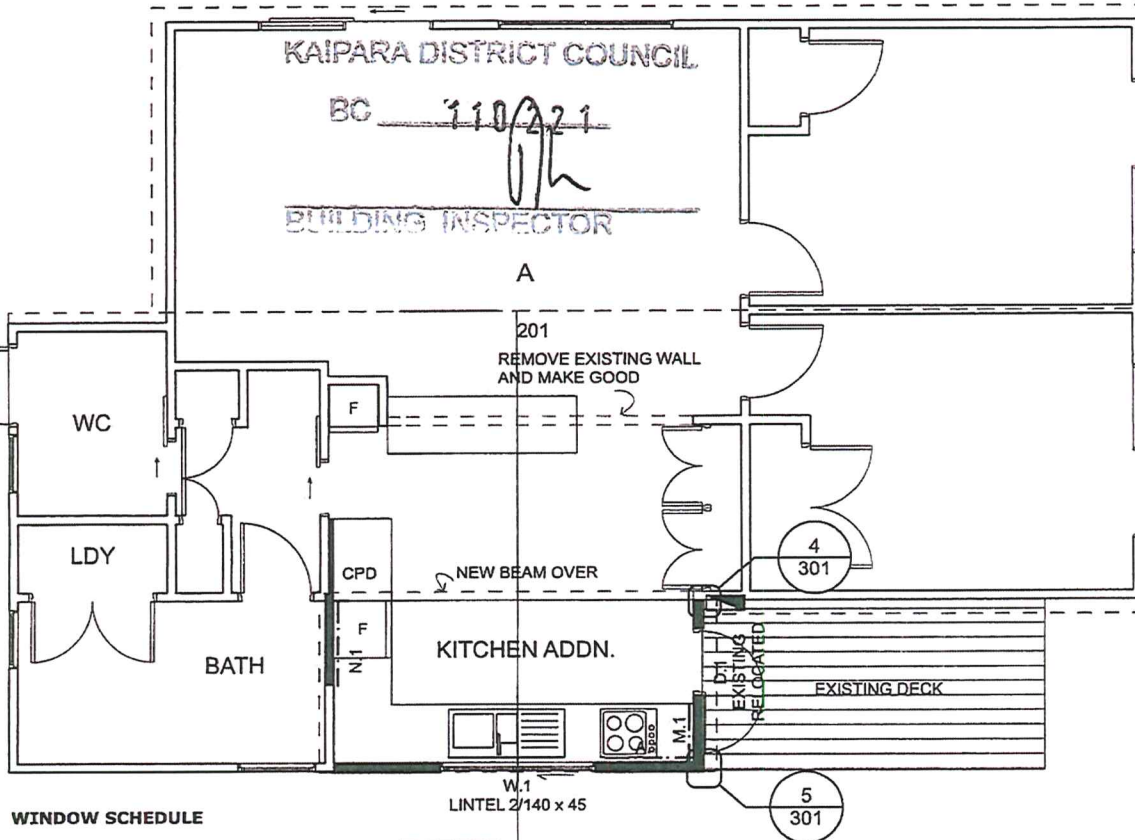
BRACING

WINDOW SCHEDULE

W.1
1600 w x 1000 h
ALUMINIUM SLIDING WINDOW



FLOOR PLAN



A

201

Smoke alarms to comply with clause F7 NZBC

CORROSION ZONE, 1 WIND ZONE, LOW

TIMBER FRAMING NOTES:

ALL FRAMING TO BE MSG8/VSG8 UNLESS NOTED. EXCEPT NEW BEAM TO BE MSG10/VSG10

ROWS OF NOGGS GENERALLY AT 800CRS. OR TO SUIT PLASTER BOARD FIXING

ALL TIMBER FRAMING TO HAVE MAXIMUM MOISTURE CONTENT OF 16% AT TIME OF LINING.

ALL TIMBER TREATMENTS TO BE IN ACCORDANCE WITH NZS 3602 REQUIREMENTS.

WALLS TO BE H1.2 TREATED 90X45 MSG8/VSG8 FRAMING GRADE TIMBER AT 600 CL.

H5 TREATED FOR ALL TIMBER IN CONTACT WITH THE GROUND. H3.2 TREATED FOR ALL EXTERIOR STRUCTURAL FRAMING. H3.1 TREATED FOR ALL EXTERIOR NON-STRUCTURAL MEMBERS. H1.2 TREATED FOR ALL INTERIOR FRAMING UNLESS NOTED.

H1 CALCULATION

ALTERATION TO EXISTING BUILDING THEREFORE THE BUILDING MUST COMPLY WITH H1 TO AT LEAST THE SAME EXTENT AS IT DID BEFORE THE ALTERATION. THE ALTERATION MUST COMPLY. THEREFORE WE PREPOSE TO USE THE SCHEDULE METHOD FOR THE ADDITION

ZONE 1	R REQUIRED	R PROPOSED
ITEM	2.9	2.56
ROOF	1.9	1.96
WALLS	1.3	1.34
FLOOR	0.26	0.26
GLAZING		

Job Title 11013 ALTERATIONS

For
K LYONS

At 13 TARANUI PLACE
MANGAWHAI

Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

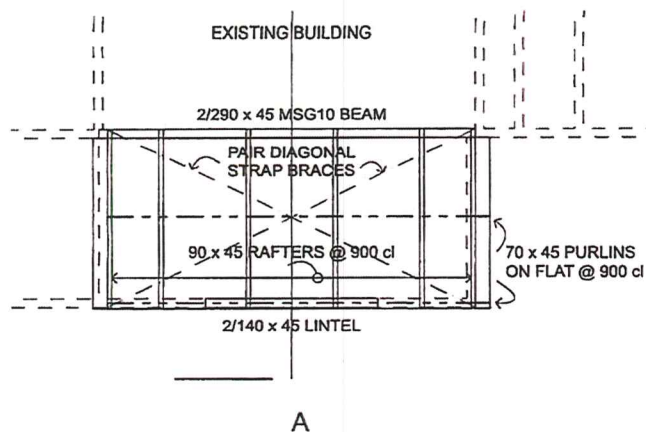
Drawing Title

FLOOR PLAN

Drawing Number	Scale
102	1:50, 1:1

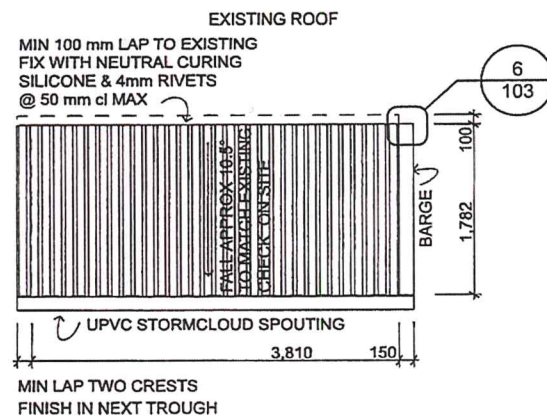
ALL DIMENSIONS TO BE VERIFIED ON SITE

1:50



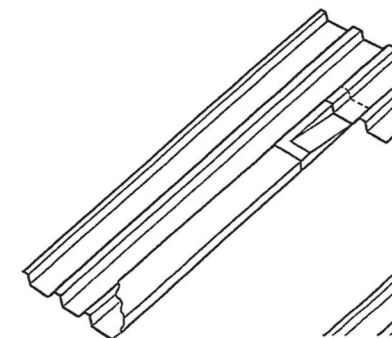
ROOF FRAMING

1:50



ROOF PLAN

1:50



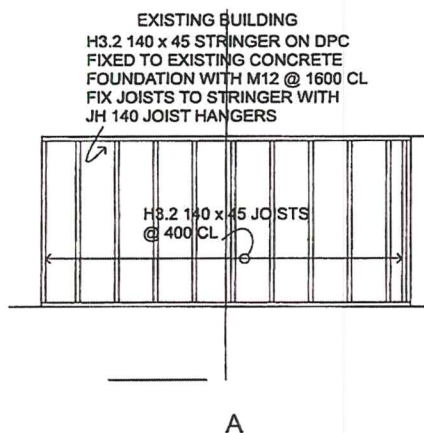
Drawing 5.3.3.1 A.

6

BARGE FLASHING

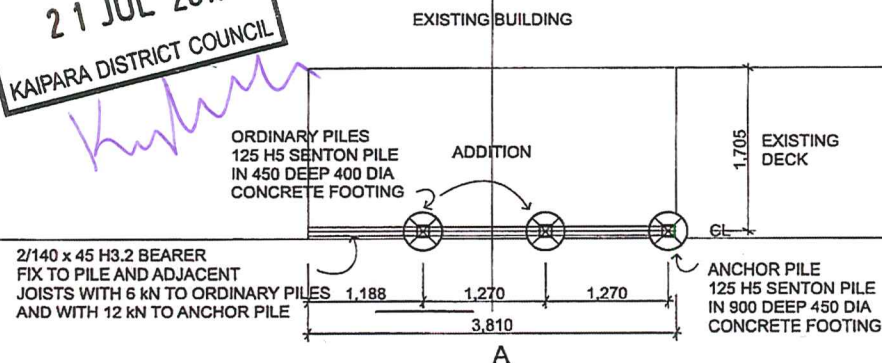
FRAMING FIXINGS

AT EDGES FIX PURLINS TO RAFTERS WITH 2/100 x 3.75 SKEW NAILS WITH 1 WIRE DOG OR 1/14g TYPE 17 SCREW
REST OF ROOF FIX PURLINS TO RAFTERS WITH 2/100 x 3.75 SKEW NAILS
FIX RAFTERS TO TOP PLATE WITH 2/100 x 3.75 SKEW NAILS WITH 1 WIRE DOG



FLOOR FRAMING

1:50



FOUNDATION PLAN

1:50

KAIPARA DISTRICT COUNCIL

BC 110 221

BUILDING INSPECTOR

Job Title
11013 ALTERATIONS

For
K LYONS

At **13 TARANUI PLACE
MANGAWHAI**



Drawn	CC
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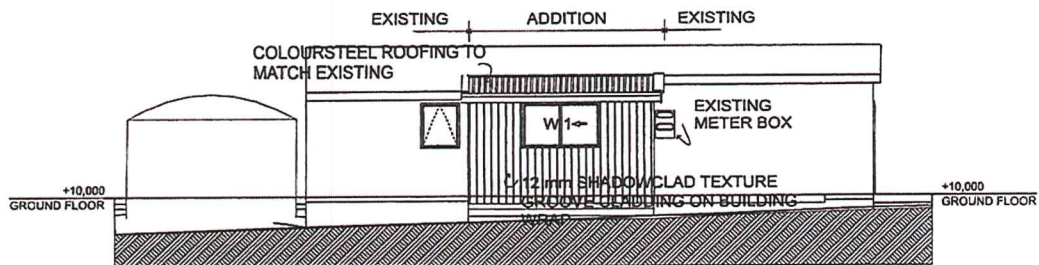
Drawing Title

PLANS

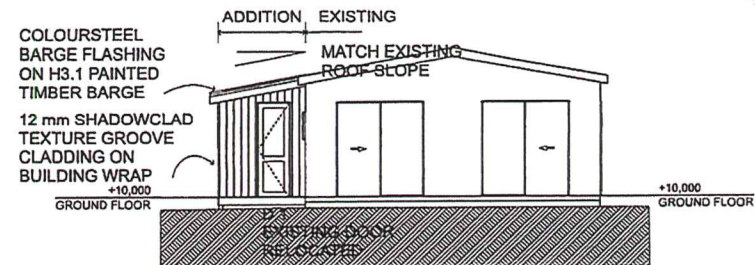
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103

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1:50,

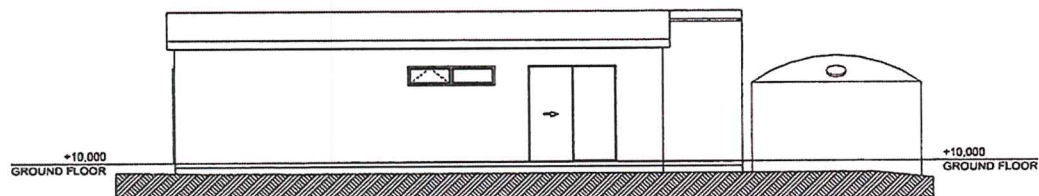
ALL DIMENSIONS TO BE VERIFIED ON SITE



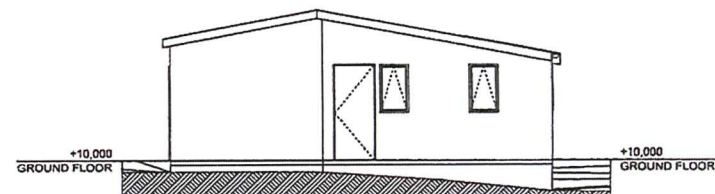
E-03 EAST ELEVATION 1:100



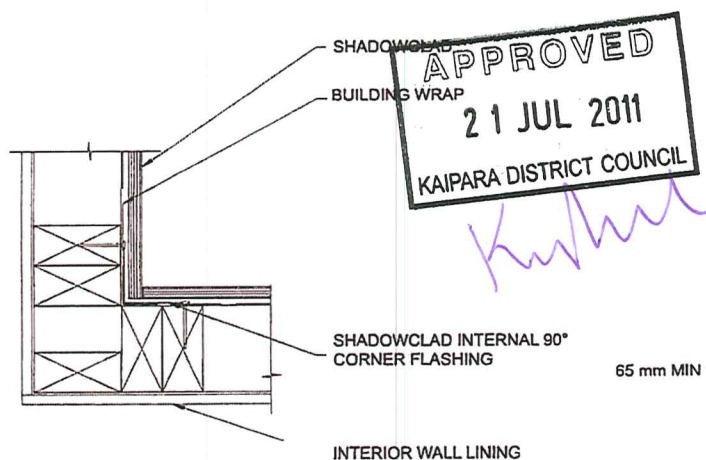
N-02 NORTH ELEVATION 1:100



W-01 WEST ELEVATION 1:100

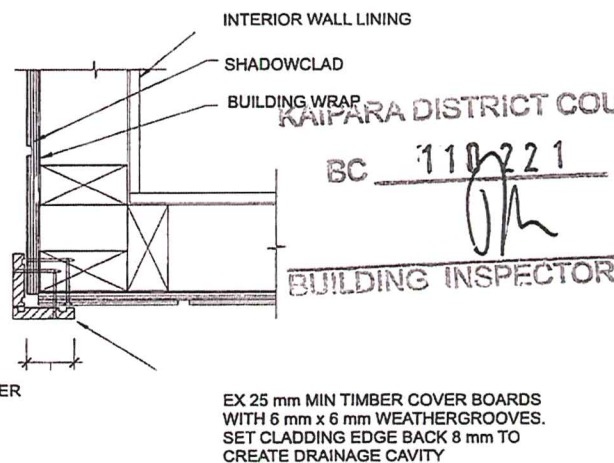


S-04 SOUTH ELEVATION 1:100



TREAT ALL EDGES WITH METALEX END SEAL CLEAR

4 INTERNAL CORNER



TREAT ALL EDGES WITH METALEX END SEAL CLEAR

5 EXTERNAL CORNER

Job Title
11013 ALTERATIONS
For
K LYONS
At
**13 TARANUI PLACE
MANGAWHAI**



Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

ELEVATIONS

Drawing Number	Scale
301	1:100, 1:1, 1:25

ALL DIMENSIONS TO BE VERIFIED ON SITE

IN THE MATTER OF:

The Resource Management Act 1991

AND

An Application Pursuant to Section 88 of the Act
by G & K Lyons for a Land Use Consent for
Infringement of Side Yard Standard.
(Ref. RM 060058)

Delegated Decision (Regulatory Leader)

The Application

This application is for land use consent to extend a bathroom (3.3m in length) and obtain consent for an existing deck along the eastern side of the existing building and located 500mm from the side boundary of Lot 6 DP 80085 located at 13 Taranui Road, Mangawhai. This work will infringe the side yard by 1.0 meter.

Procedure

In accordance with Clause E1.5 of the Schedule of Delegations to Staff, I have authority to determine whether or not the application should be publicly notified, and also authority to grant consent.

Because the written consent of those persons considered potentially affected by the proposal has been provided and because possible adverse effects were considered minor, the application was not publicly notified.

District Plan Requirements

The land is zoned residential within which infringement of yard requirements is a discretionary activity. The activity must be assessed using the Specific Assessment Criteria, Section 13.2.7. These criteria concern the effects on amenities of the surrounding area, physical limitations of the site, and the impact on the environment that would result from compliance with the standards.

The relevant objective for residential development in the District Plan is:

MGV:cl

RM 060058

"To facilitate the co-ordinated development and servicing of residential area with high amenity values"

Section 104 of the Resource Management Act 1991 (the Act) requires Council to have regard to Part II (Purposes and Principles) of the Act, the actual and potential effects of the activity, and any relevant objectives, policies and rules of the Plan. This proposal is consistent with the purposes and principles of the Act and the relevant objectives, policies and rules of the District Plan, apart from infringing the yard requirement.

Conclusion

The proposal is generally consistent with Part II of the Act and with the provisions of the District Plan. In particular, the issues of amenity values, physical limitations to development, and alternative designs and layout are satisfied. Any actual or potential effects on the environment of allowing the proposal are, subject to the recommended conditions, considered to be minor. Therefore, the application can be granted.

Decision

That pursuant to Section 105(1)(b) of the Resource Management Act 1991 the Kaipara District Council grants the application by G & K Lyons to carry out construction of a bathroom extension and existing deck on the side yard of Lot 6 DP 80085 located at 13 Taranui Road, Mangawhai, subject to the following conditions:

1. *That site works and construction proceed generally in accordance with the plan submitted with the application.*

Monitoring

There are no conditions that will require monitoring after this consent has been granted.

Reasons for the Decision

Pursuant to Section 113 of the Act the reasons for the decision are:

1. *The proposal is generally consistent with Part II of the act and the relevant provisions of the District Plan.*
2. *Any environmental effects associated with the proposal are, subject to the stated conditions, considered to be minor.*

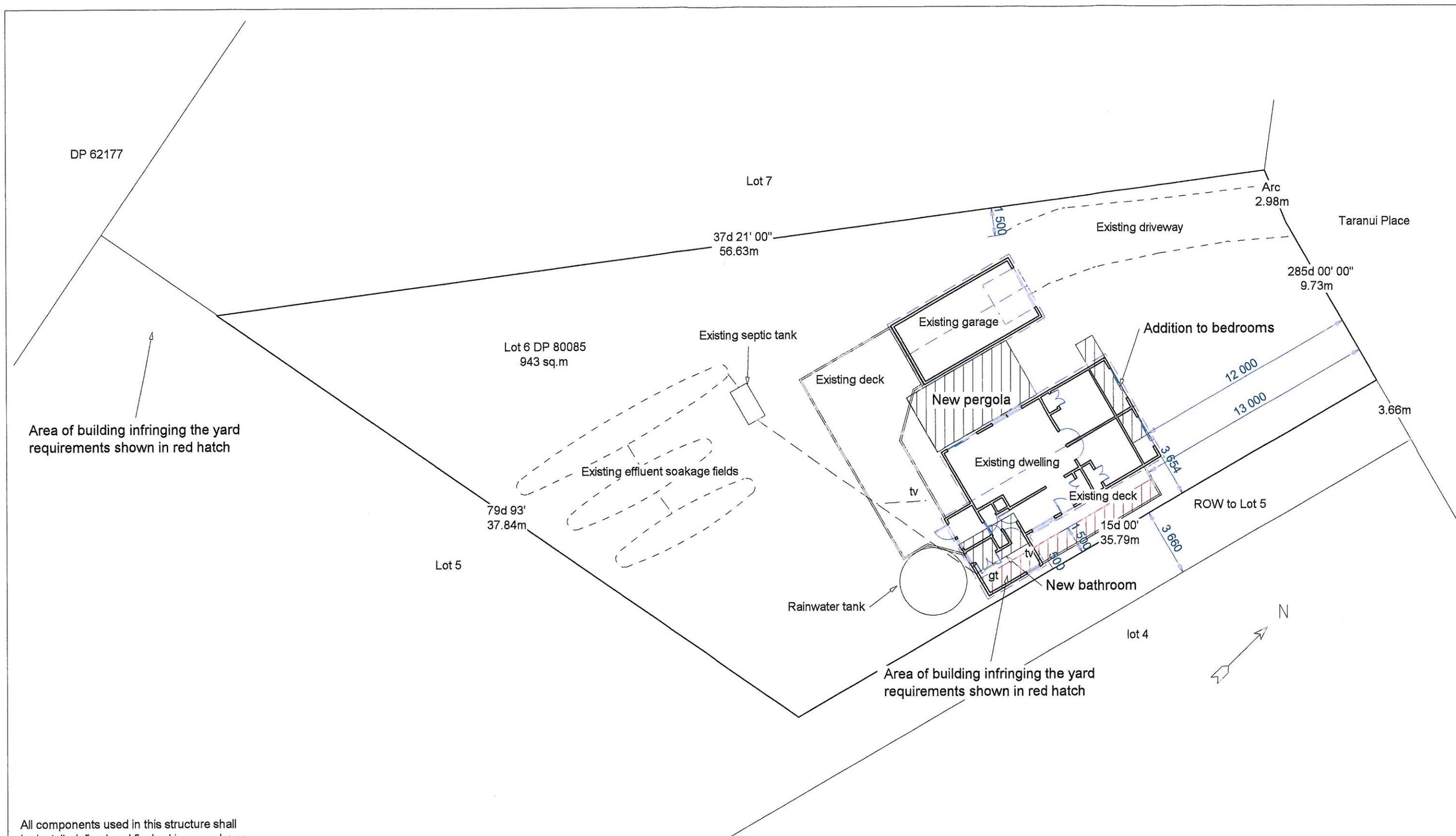
Advice Notes (not part of the Decision)

1. A building consent will need to be obtained before commencing construction work.
2. The work must be carried out in accordance with the Building Act 1991.



Mark Vincent
Kaipara District Council

Date 12 April 2006



All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

Electrical Key

Double switched 10 amp power outlet

Double switched 10 amp power outlet

Check all dimensions on site

Mangawhai Draughting and Design Dave Stewart

Phone 09 4314 804 Fax 09 4314 802 Mobile 029 4314 804
email dave.draft@xtra.co.nz

These Drawings and Documents are Copyright and Remain the Property of Mangawhai Draughting and Design.

They shall NOT be Copied in Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design

Alterations to Dwelling for
Kathy Lyons at
13 Taranui Place, Mangawhai

Lot 6 DP 80085 Val. No 01221 10600

Site Plan

Drawn: Dave Stewart

Date: August 2005

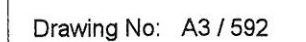
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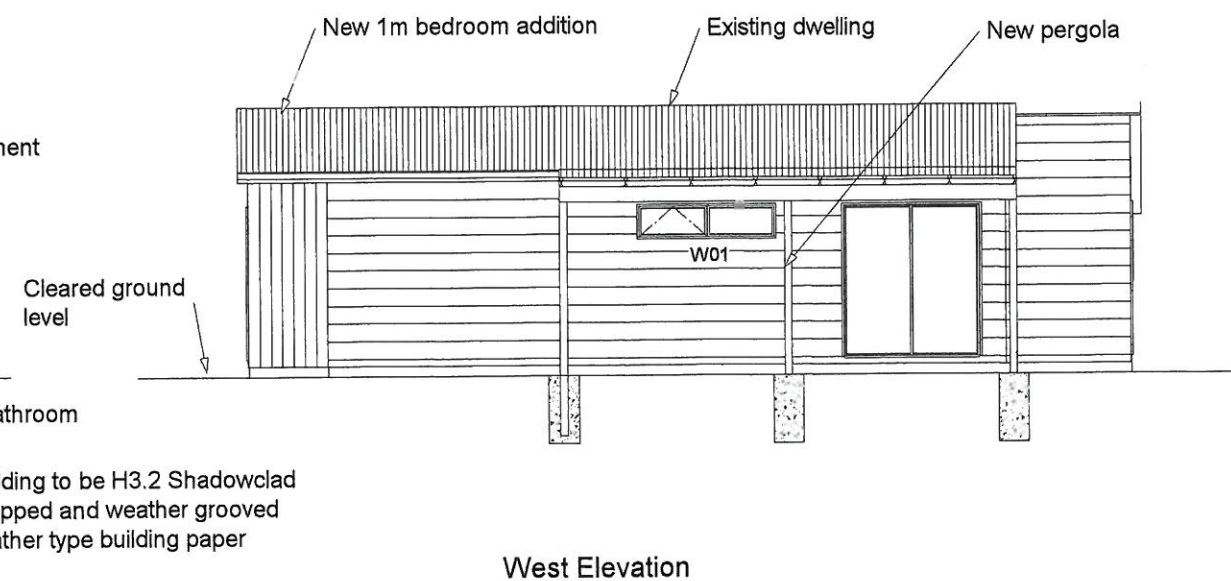
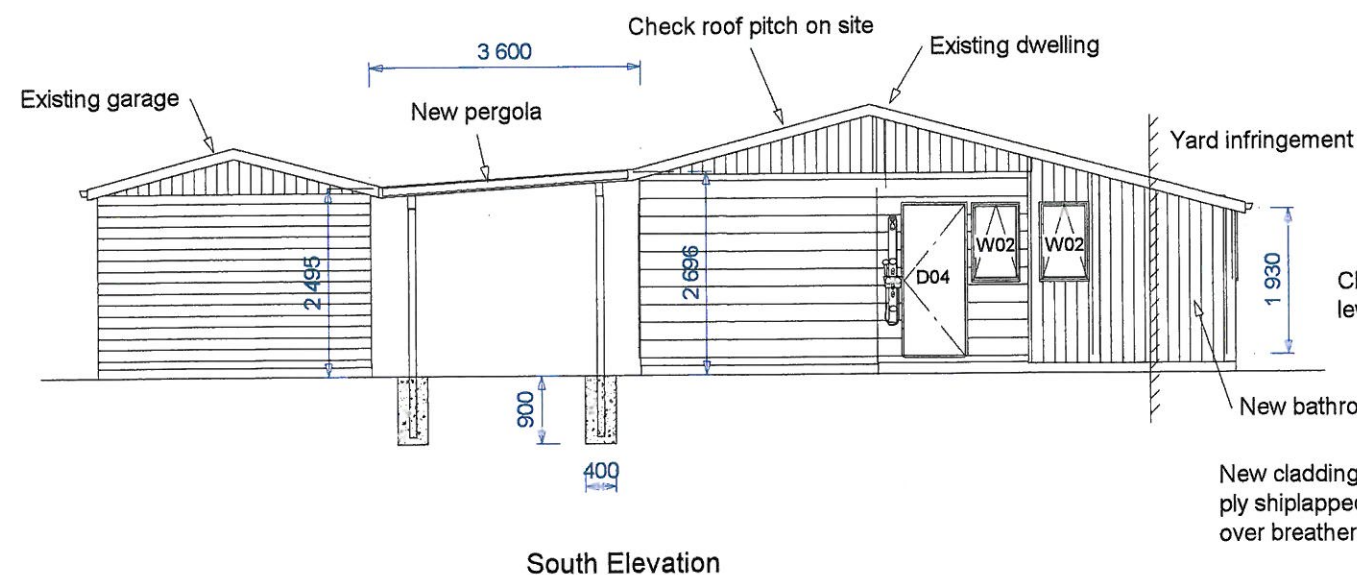
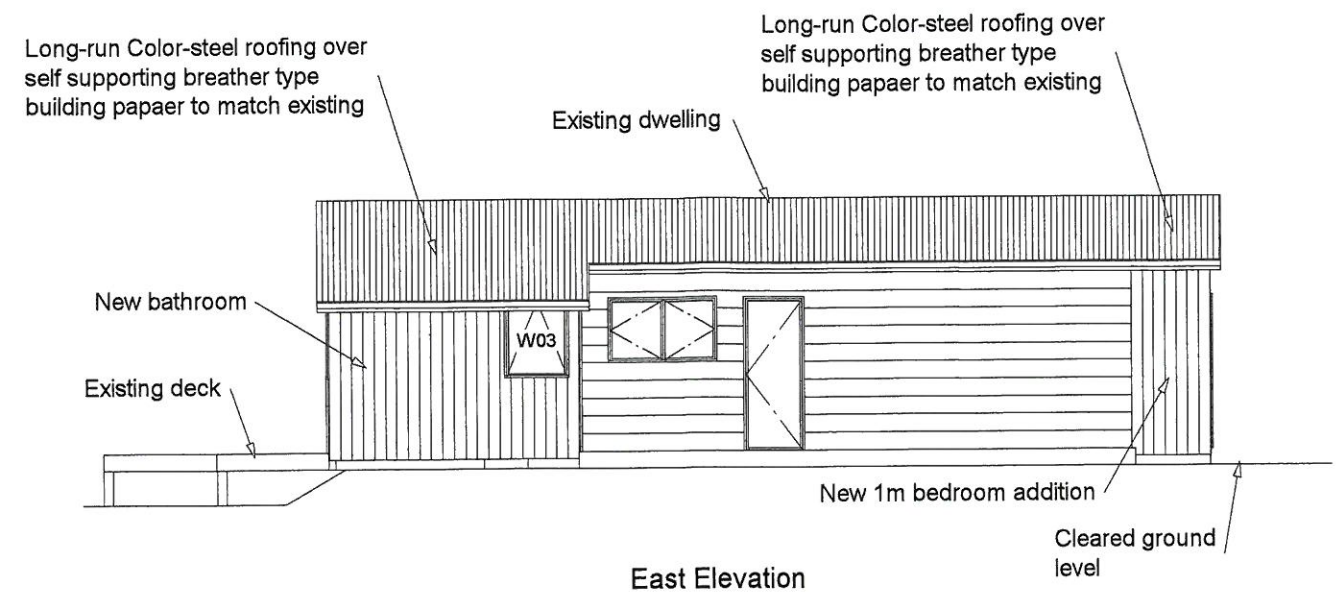
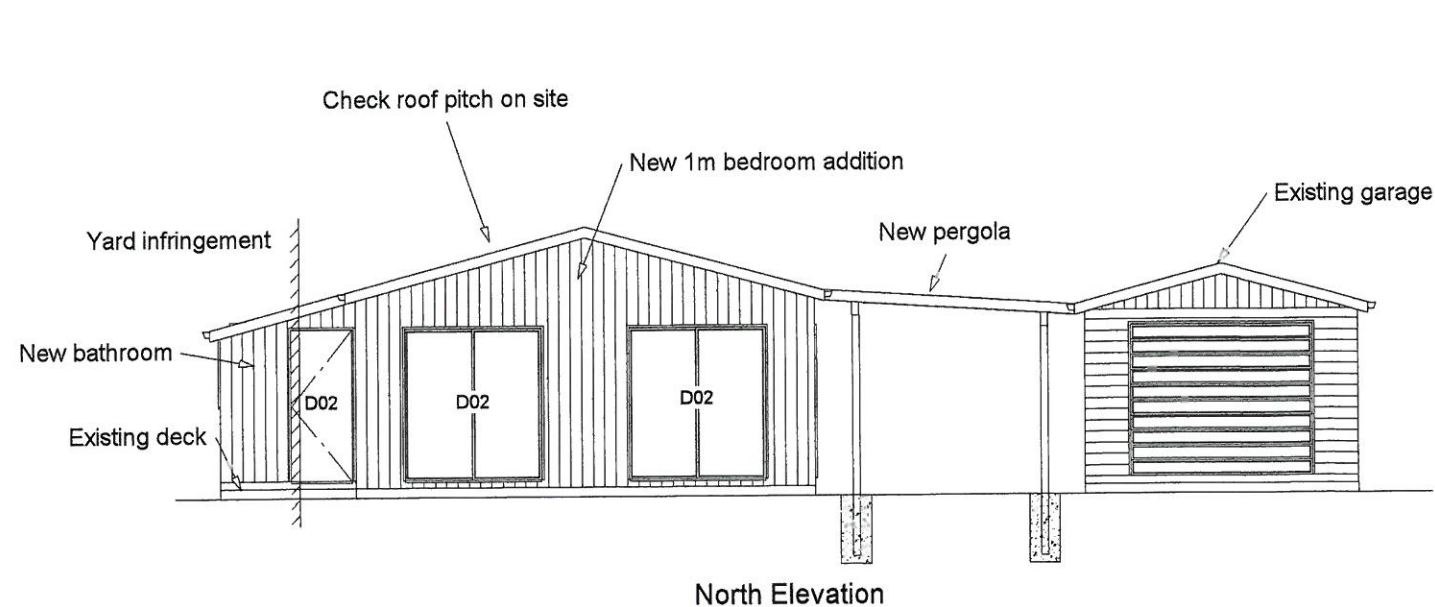
Sheet No: one

of: thirteen

Drawing No: A3 / 592

WINDOW SCHEDULE			
NUMBER	QTY	SIZE	DESCRIPTION
W01	1	1 800X400	MULLED UNIT
W02	2	600X1 000	AWNING
W03	1	800X1 000	AWNING





All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

Electrical Key

Double switched 10 amp power outlet
Double switched 10 amp power outlet

Existing building may be re clad to match additions

Check all dimensions on site

Mangawhai Draughting and Design
Dave Stewart

Phone 09 4314 804 Fax 09 4314 802 Mobile 029 4314 804
email dave.draft@xtra.co.nz

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They shall NOT be Copied in Any Form or Passed or Passed On To Any Third Party Without Prior Approval form Mangawhai Draughting and Design

Alterations to Dwelling for
Kathy Lyons at
13 Taranui Place, Mangawhai

Lot 6 DP 80085 Val. No 01221 10600

Elevations

Drawn: Dave Stewart
Date: August 2005
Scale: 1 : 100

Sheet No: four
of: thirteen
Drawing No: A3 / 592

10875

OTAMATEA COUNTY COUNCIL

P.O. Box 1,
Paparoa.

(Office, Paparoa)

Phone 1
Paparoa

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER Name RONALD PATRICK + SONIA ANNETTE TOLLEMACHE

27 AUG 1987

Postal Address 35 WAIPANI ROAD TE ATAU N.H. Phone 8347291

Aged: 8

OTAMATEA COUNTY COUNCIL

BUILDER Name AS ABOVE

Postal Address _____

Phone 8360839 (Business)

EXISTING USE OF SITE AND BUILDINGS Back

NATURE OF PROPOSED BUILDING WORK to extend top dwelling (for holidays)
om, Lounge extensions etc. (add decks as illustrated)

VALUATION DEPT. ASSESSMENT No. : (from rate demand) _____

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds) _____

Road or Street : Lot 11 Waipani Road

AREA OF SITE: _____

Acres _____

Roods _____

Perches _____

Hectares _____

sq. metres.

NATURE OF SOIL: (rock, clay, sand, loam. etc.) loam / clay.

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building	_____	_____	_____	_____
Accessory Buildings	_____	_____	_____	_____

Existing
9000 x 6060

ESTIMATED VALUE OF WORK & FEES

	Value	Fees
Main Buildings (excluding plumbing and drainage)	\$ <u>5000 —</u>	\$ <u>100 —</u>
Accessory Buildings (excluding plumbing and drainage)	\$ _____	\$ _____
Plumbing	\$ _____	\$ _____
Drainage	\$ _____	\$ _____
Building Levy Fee (on total value)	\$ _____	\$ _____

TOTAL FEE _____

1745

CERTIFICATE : I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Otamatea County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant R. Tollemache

Date _____

28801

FOR OFFICE USE ONLY

Fee Paid — Building	Receipt No.	Date
Building Research Levy	Receipt No.	Date
Fee Paid — Plumbing	Receipt NO.	Date
Fee Paid — Drainage	Receipt No.	Date
Vehicle Crossing Deposit	Receipt No.	Date
Vehicle Crossing Payment	Receipt No.	Date


TO HEALTH INSPECTOR:

Checked and approved

Signature : Date :

TO BUILDING INSPECTOR:

Checked and approved

Signature :  Date : 2.9.87

TO TOWN PLANNING OFFICER:

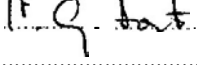
Checked and approved

Signature : Date :

REMARKS :

PERMIT TO BE ISSUED SUBJECT TO:—

PERMITS :

Building Permit No. E45334	Signature 	Date 4.9.87
Plumbing Permit No.	Signature	Date
Drainage Permit No.	Signature	Date

GENERAL INFORMATION

(1) The following **MUST** accompany this Application :

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATION (in ink or on print paper)
including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the Correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where e building requires Plumbing and Drainage work a **separate** Application Form **must be filled in** and **fee** paid before a Building **Permit can** be issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and Calculations showing how the design complies with the By-laws in the case of building requiring specific design.

C O D E C O M P L I A N C E C E R T I F I C A T E
Section 43(3), Building Act 1991

Applicant

P & C SIMPSON
13 PARKLAND CRES
KAMO
WHANGAREI

Consent Details

Consent/PIM No.: 950003
Date issued: 13/03/96
Valn No: 0122110600

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
SINGLE VERSATILE GARAGE

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: NEW GARAGE

Project Location: 13 TARANUI PL

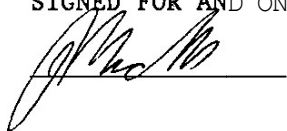
Legal Description: LOT 6 DP 80085

Estimated Value: \$ 5,000

The Council's total charges paid on the uplifting of this Code
Compliance Certificate in accordance with the following details
are \$ 0.00

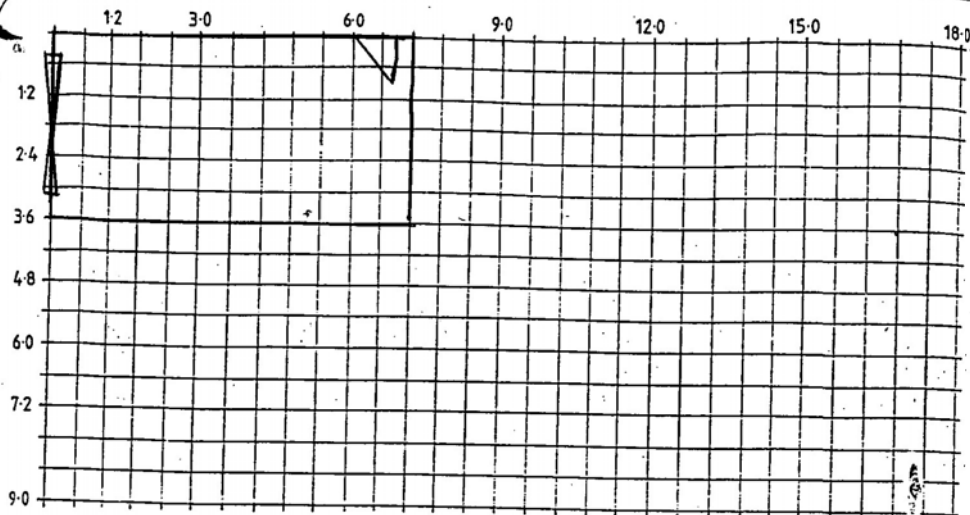
This is a final code compliance certificate issued in respect of
all the building work under the above building consent.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

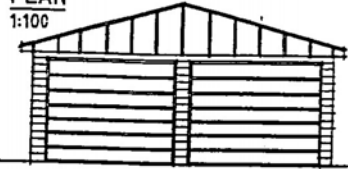


Building Inspector

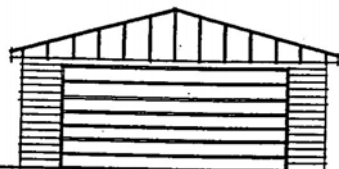
Date/4.3.96



PLAN
1:100



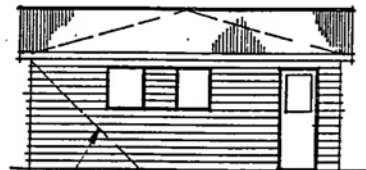
A.



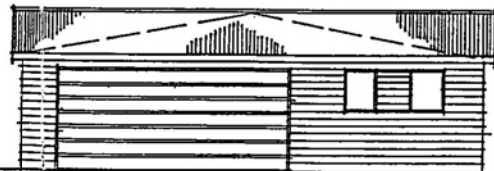
B.



C.



D.



E.

2112 Std height

SECTION

STEEL STRIP ROOF PLANE
BRACE CROSS OVER
AT RIDGE

22x22 WALL BRACE
3 SIDES OF BLDG.

ELEVATIONS 1:100

SPECIFICATION

FOUNDATIONS Concrete floor 17.5 MPa 100mm thick;

Footings as detailed.

TIE DOWNS 2-3.55 galv wire or 10mm dia x 160 galv bolts cast-in or D12098 Dynabolts at max 1200 crs.
2 Ply D.P.C. under all plates.

DAMP COURSE All timber boric treated machine gauged radiata.
FRAMING All framing is housed, ie studs checked into plates & dwangs checked into studs, all studs at 600 crs.
Max height of 3-0m - 100x50, 3-6m - 150x50.

SIDE ENTRY OPENING LINTELS

Max span 2-2	150x100 lintel
Max span 3-0	200x100 lintel
Max span 4-5	300x100 lintel
Max span 4-8	300x100 lintel

Trusses butted to lintel with 94x47 lumberlok joist hanger

DOORS Side door timber framed-steel clad each side. Over doors 0.4mm metal panel on overhead garage door gear or roller doors.

DOOR BEAMS

WALL BRACES

ROOF TRUSSES

TRUSS STIFFENER

PURLINS

DRAGON TIES

ROOFING

SPOUTING

EXTERIOR CLADDING

Gable overdoor openings have standard truss lintel, see under Roof trusses.
Steel angle brace 22x22 cut into plates & studs, as NZS 3604.
Design cert. CH 3083. All trusses at 15° unless specified otherwise. Max. spacing 1800 crs at 0.6 kPa snow load.
Up to 6-0m span 1 row 100x50 on edge
Over 6-0m span 2 rows 100x50 on edge
100x50 on edge at max 900 crs
100x50 on flat over top plate at each corner. Applies to buildings up to 5.4 x 5.4, then strap bracing is used.
0.4mm steel longrun Rib Roof, 0.4mm steel ridge capping.
0.55mm gutters 250 wide each side of garage, colorsteel.

Profile Colorsteel 'Superclad 300'

built by:

Versatile Garages

built for:

Mr & Mrs P. Simpson

content:

PROPOSED GARAGE

scale: 1:100

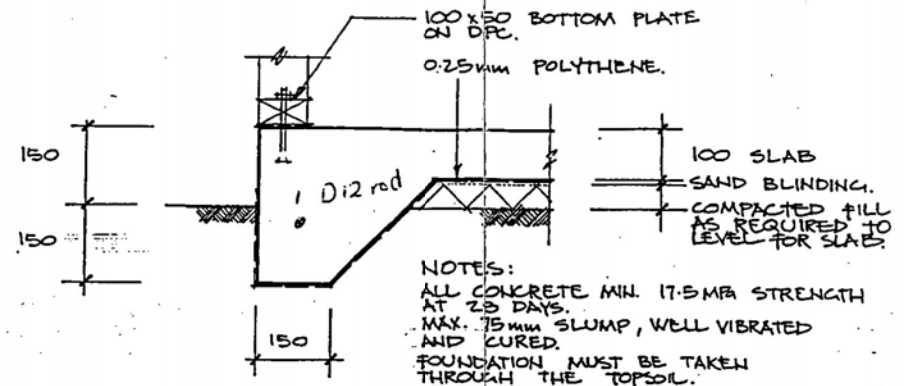
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file:

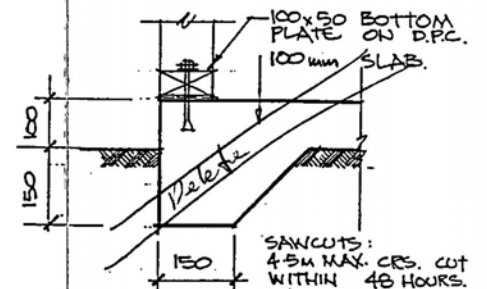


VERSATILE GARAGES LTD

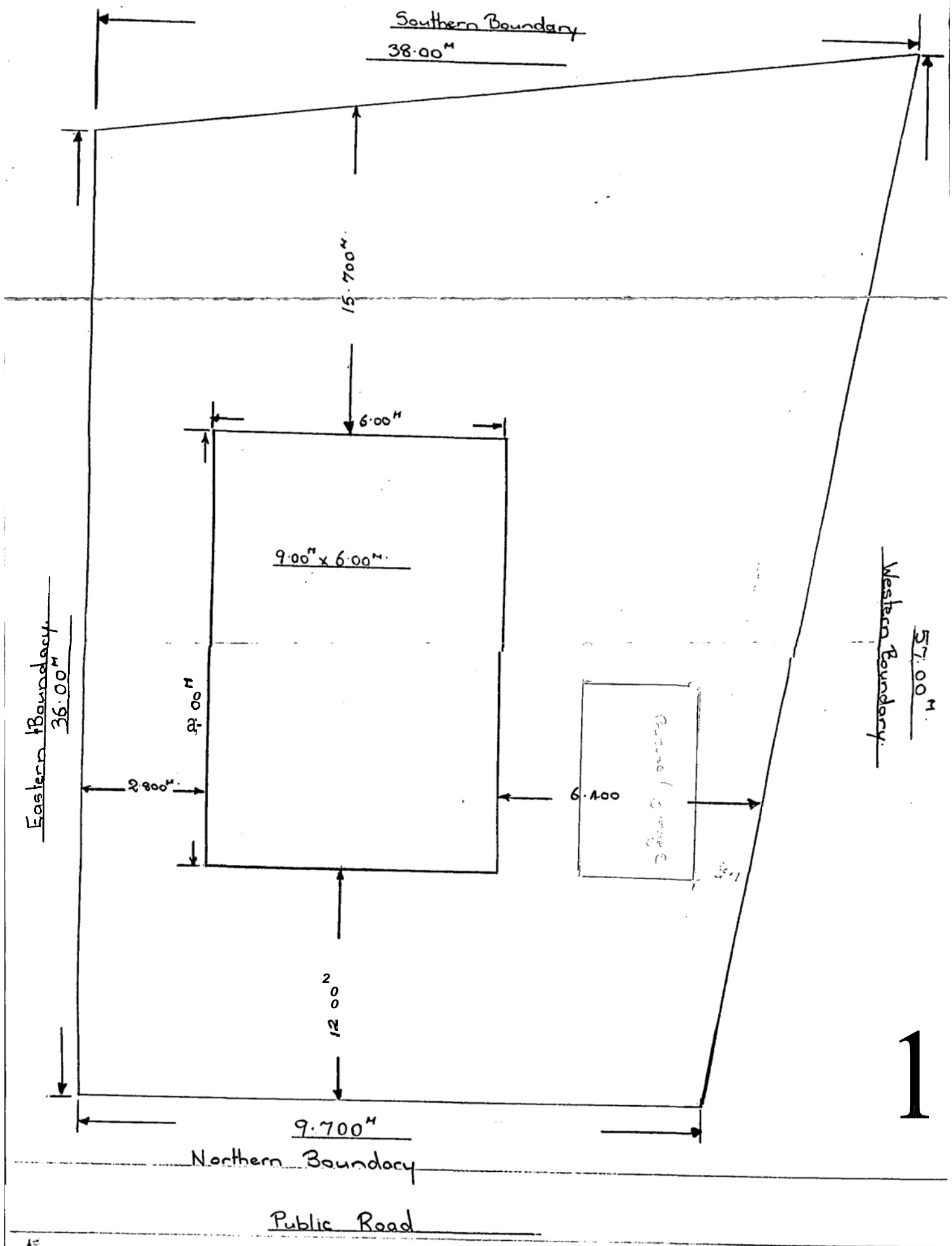
THIS DRAWING IS COPYRIGHT



CONCRETE FOOTING - DETAIL 1
1:10



CONCRETE FOOTING - DETAIL 2
1:10



15-11-82

Site Plan Lot 6 Tara-Nur St.

N.T.S.

OTAMATEA COUNTY COUNCIL

10872

Application for Drainage and/or Plumbing Permit

To the Engineer
Otamatea County Council
P. O. Box 1
PAPAROA

Date 1-11-88

Sir

I hereby apply for a permit to Instal Septic Tank and
Irrigation as set out in the plane attached

hereto. (Describe work to be done, plumbing, drainage, septic tank
etc.)

For R. Tollemache - 35 Waipani Rd. Te Atatu
(Initials and name of property owner and address)

SECTION ON WHICH WORK IS TO BE DONE : Val No 1221/106 Lot 6

Street or Road Taranui St.
D. F. 80085 S.D.

By this hand authorise H. K. Lee
{name & address of plumber and/or drainlayer}

..... Licence No 08729 to execute the said
work.

Value of the completed work :	Plumbing
	Drainage	<u>800-00</u>
	Total	<u>\$800-00</u>

Permit Fee Payable (see scale of fees over)	<u>\$40-00</u>
--	----------------

Signed H. K. Lee
(Permit applicant)

Postal Address : RD 4
Manganui

NOTE : All permits will be issued direct to the persons undertaking
the work

FOR OFFICE RECORD ONLY

Fee Paid \$40-00 Receipt No 8735 Permit No 2616

APPLICATION APPROVED [Signature] Inspector 9/11/1988

OTAMATEA COUNTY COUNCIL

SITE DRAINAGE PLAN

DRAINLAYER M Lee

Permit No. _____

Date 18-11-88.

ACTUAL measurements between inspection pipes, changes of direction, etc, are to be clearly shown. This applies to stormwater drains also. The DEPTH of all cleaning eyes, is also to be shown.

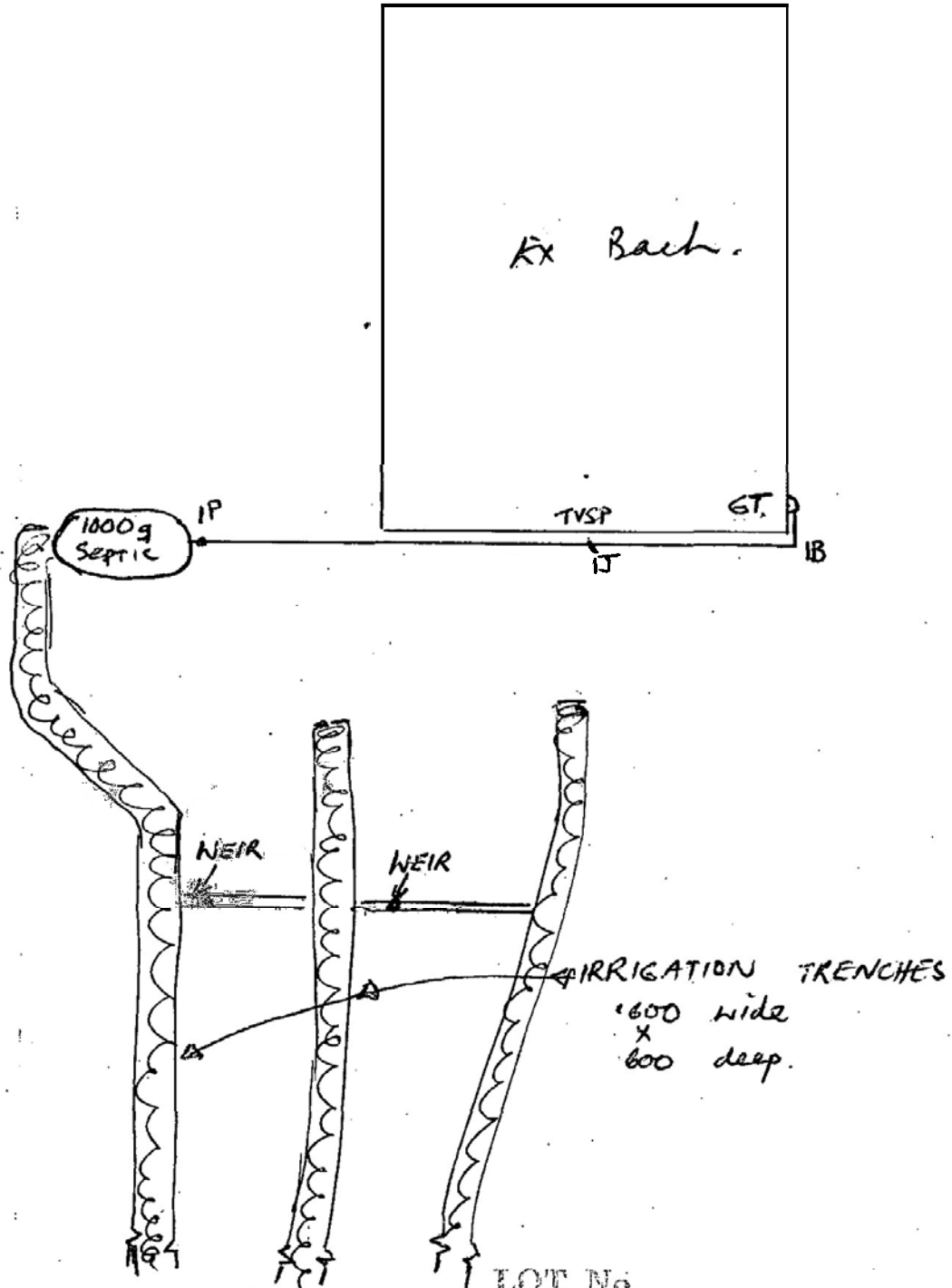
New Sewerdrains
Stormwater
Old Drains

EEC
DOTTED BLACK
FULL BLACK

Material Used
SEWER
STORMWATER

PVC/CERAMIC
PVC/CERAMIC
DELETE

← TARANUI ST →



OWNER:

TOLLERMACHE

STREET:

TARANUI ST

LOT No.

DE No.

10814

QTAMATEA COUNTY COUNCIL

P.O. Box 1,
Paparoa.

(Office, Paparoa)

Phone 1
Paparw

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER

Name

Ronald Patrick Tollemache

Postal Address

17 Huruturu Rd

Phone

833.8983

BUILDER

Name

J.E. Industries Masey

Postal Address

P.O. Box

Phone

276.9983

EXISTING USE OF SITE AND BUILDINGS

NATURE OF PROPOSED BUILDING WORK

Store-Shed

e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No. : (from rate demand)

1221/106

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds)

Lot 6 D.P. 80085

Road or Street:

Tara-Nui St.

Mangahai Heads

AREA OF SITE:

Acres

Roods

Perches

Hectares

943

sq. metres.

NATURE OF SOIL: (rock, clay, sand, loam etc.)

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building		545 sq.m.		545 sq.m.
Accessory Buildings				

ESTIMATED VALUE OF WORK & FEES

	Value	Fees
Main Buildings (excluding plumbing and drainage)	\$ 4000	\$ 38-40 3253-4
Accessory Buildings (excluding plumbing and drainage)	\$	\$
Plumbing	\$	\$
Drainage	\$	\$
Building Levy Fee (on total value)	\$	\$ 4-00 3255
TOTAL FEE		\$ 42-40

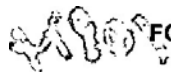
CERTIFICATE : I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Otamatea County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant

R.P. Tollemache

Date

19-1-83



FOR OFFICE USE ONLY

Fee Paid — Building	Receipt No.	Date
Building Research Levy	Receipt No.	Date
Fee Paid — Plumbing	Receipt NO.	Date
Fee Paid — Drainage	Receipt No.	Date
Vehicle Crossing Deposit	Receipt No.	Date
Vehicle Crossing Payment	Receipt No.	Date

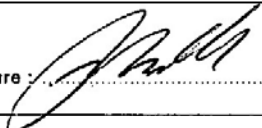
TO HEALTH INSPECTOR:

Checked and approved

Signature : Date :

TO BUILDING INSPECTOR:

Checked and approved

Signature :  Date 19/1/83

TO TOWN PLANNING OFFICER:

Checked and approved

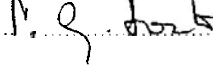
Signature : Date:

REMARKS :

PERMIT TO BE ISSUED SUBJECT TO:—

.....
.....

PERMITS :

Building Permit No. . A63985	Signature..... 	Date..... 5.2.83.
Plumbing Permit No.	Signature.....	Date.....
Drainage Permit No.	Signature.....	Date.....

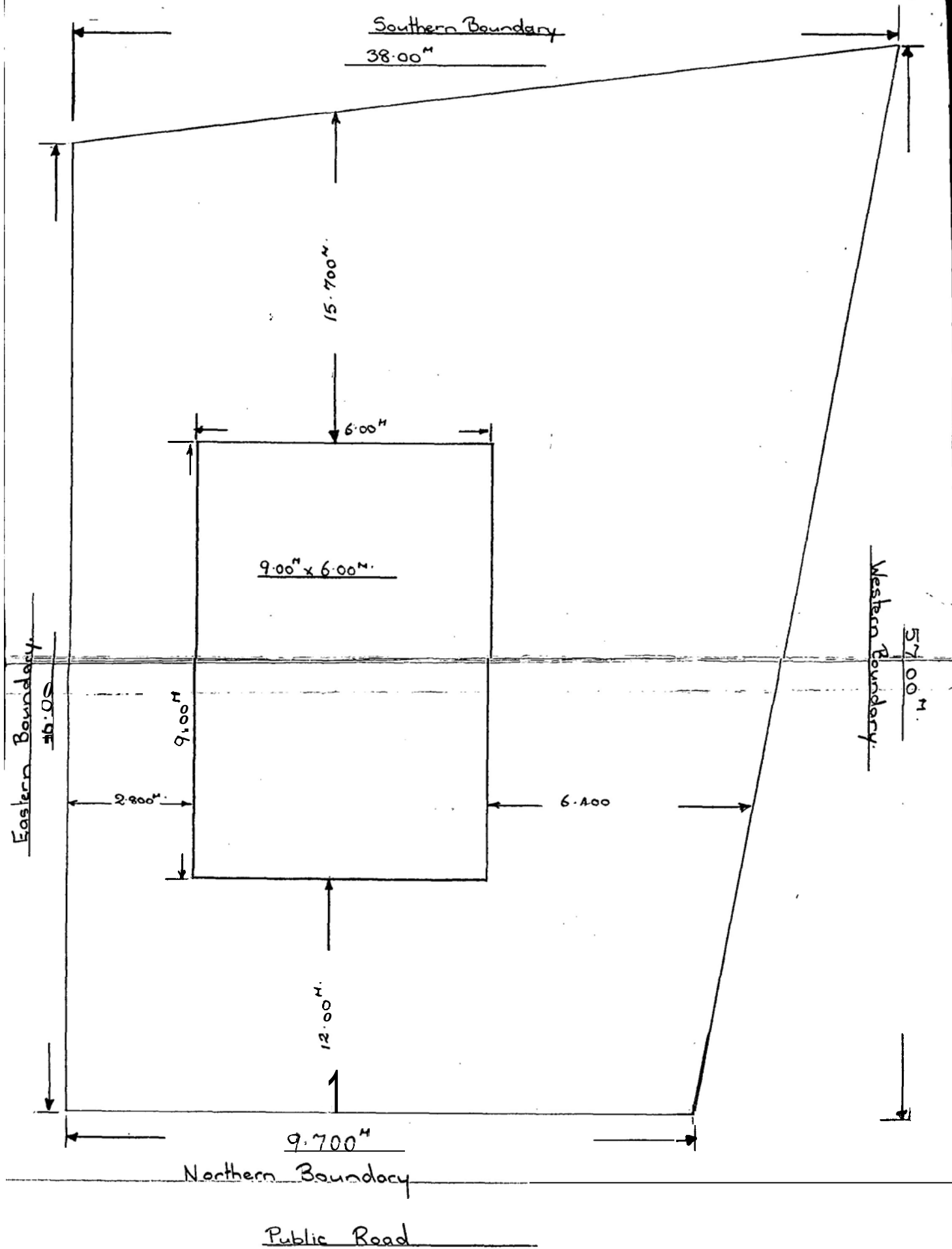
.....

GENERAL INFORMATION

(1) The following MUST accompany this Application :

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATION (in ink or on print paper)
including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a **separate** Application Form must be filled in and fee paid before a Building **Permit can be** Issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A **report and** calculations showing how the design complies with the By-laws in the case of building requiring specific design.



Code Compliance Certificate 060008

Form 7, Section 95, Building Act 2004

G and K Lyons
5 English Oak Drive
Albany
North Shore City

Issue Date: 9/02/11
Overseer: Derek Free

THE BUILDING:

Street Address of Building:	13 TARANUI PLACE, MANGAWHAI
Valuation Number:	0122110600
Legal Description:	LOT 6 DP 80085
Building Name:	
Location of Building within site/block number:	
Level/Unit Number:	
Current Lawfully Established Use:	
Year First Constructed:	

THE PROJECT:

Description:	Dwelling Alterations DWELLINGS - ALTERATIONS & ADDITIONS
Type of Work:	
Intended Use:	Private
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stage

THE OWNER:

Owners Name:	G and K Lyons		
Owners Mailing Address:	5 English Oak Drive, Albany, North Shore City		
Street Address/Registered Office:			
Phone	Landline:	Daytime:	After Hours:
Number	Mobile:	Fax:	
Email:	Website:		

FIRST POINT OF CONTACT:

First Point of Contact:	Full Name: G and K Lyons
	Mailing Address: C/- Vision Builders Northland, 198A Devich Road Mangawhai, RD 5 Wellsford
	Phones:: 0274 938 852: 09 4315 181
	Fax: 09 4315 181

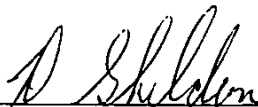
BUILDING WORK:

Building Consent Number:	060008
Issued By:	Kaipara District Council

This Code Compliance Certificate is issued by the Kaipara District Council. As the Building Consent Authority it is satisfied, on reasonable grounds that:

- The building work complies with the Building Consent 060008

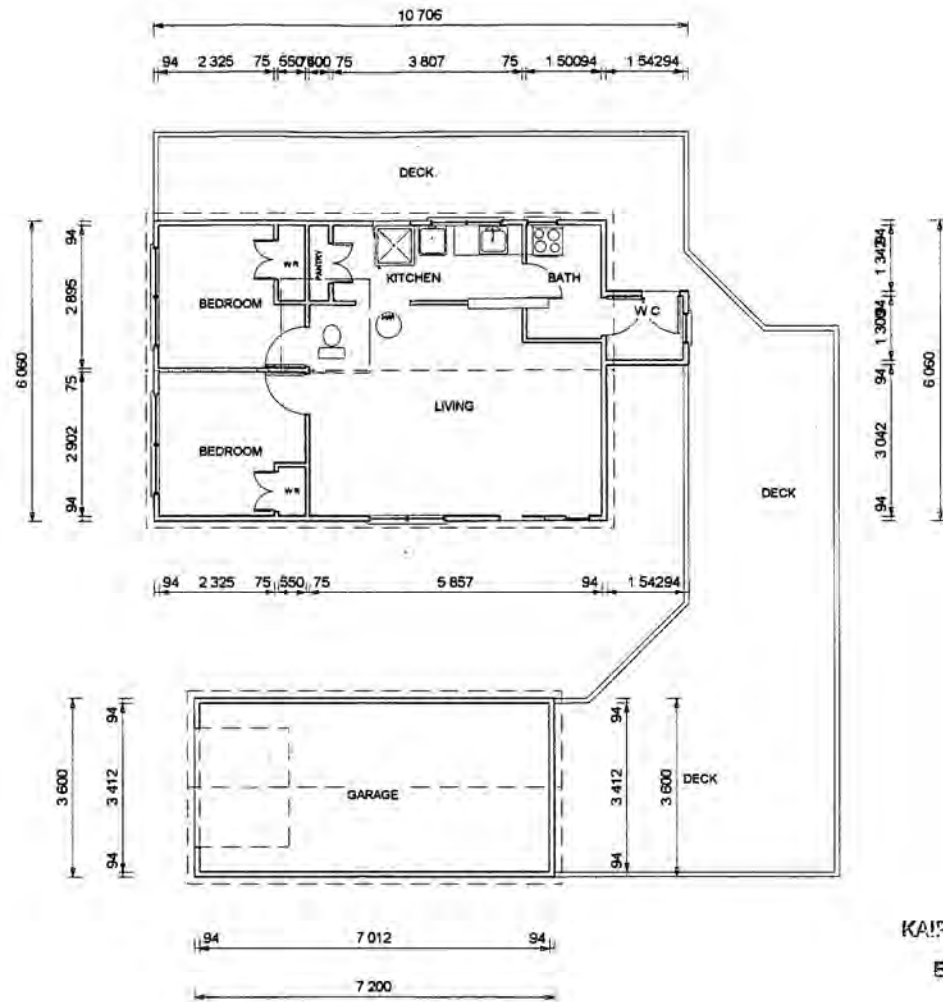
Signature



Date: 9/02/11

Position Building Services Officer

On behalf of: Kaipara District Council



All construction shall be carried out in accordance with The New Zealand Building Code, NZS 3804 and any Local Authority Bylaws.

All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

KAITIARA DISTRICT COUNCIL

BC 060008

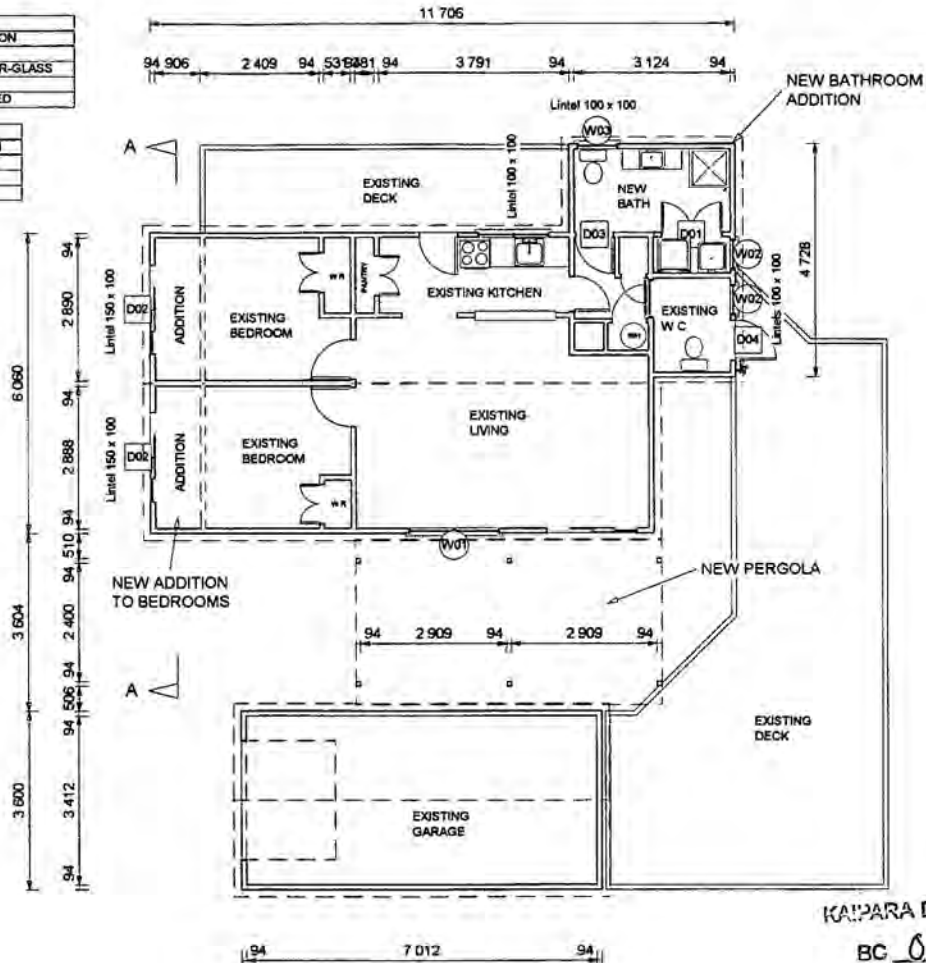
BUILDING INSPECTOR

Check all dimensions on site

Mangawhai Draughting and Design Dave Stewart Phone 09 4314 804 Fax 09 4314 802 Mobile 029 4314 804 email dave.draff@mangawhai.co.nz	These Drawings and Documents are Copyright and Remain the Property of Mangawhai Draughting and Design. They shall NOT be Copied in Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design.	Alterations to Dwelling for Kathy Lyons at 13 Taranui Place, Mangawhai Lot 6 DP 80085 Val. No 01221 10800	Existing Floor Plan	Drawn: Dave Stewart Date: August 2005 Scale: 1: 100	Sheet No: two of: thirteen Drawing No: A3 / 592
--	---	--	---------------------	---	---

DOOR SCHEDULE			
NUMBER	QTY	SIZE	DESCRIPTION
D01	1	1 200X2 000	HINGED
D02	2	1 800X2 000	EXT. SLIDER-GLASS
D03	1	740X2 000	HINGED
D04	1	810X2 000	EXT. HINGED

WINDOW SCHEDULE			
NUMBER	QTY	SIZE	DESCRIPTION
W01	1	1 800X400	MULLED UNIT
W02	2	600X1 000	AWNING
W03	1	800X1 000	AWNING



KAIAPARA DISTRICT COUNCIL
BC 06.0.008

[Handwritten signature]

All construction shall be carried out in accordance with The New Zealand Building Code, NZS 3604 and any Local Authority Bylaws.

All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

Check all dimensions on site

Mangawhai Draughting and Design
Dave Stewart

Phone 09 4314 804 Fax 09 4314 802 Mobile 029 4314 804
email dave.draft@dra.co.nz

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They shall NOT be Copied in Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design

Alterations to Dwelling for
Kathy Lyons at
13 Taranui Place, Mangawhai

Lot 6 DP 80085 Val. No 01221 10600

New Floor Plan

Drawn: Dave Stewart

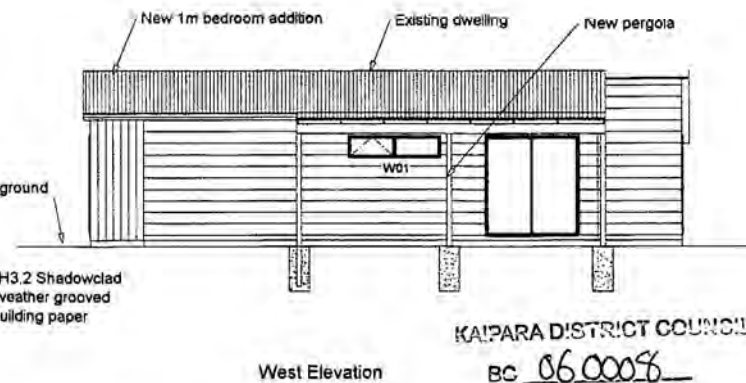
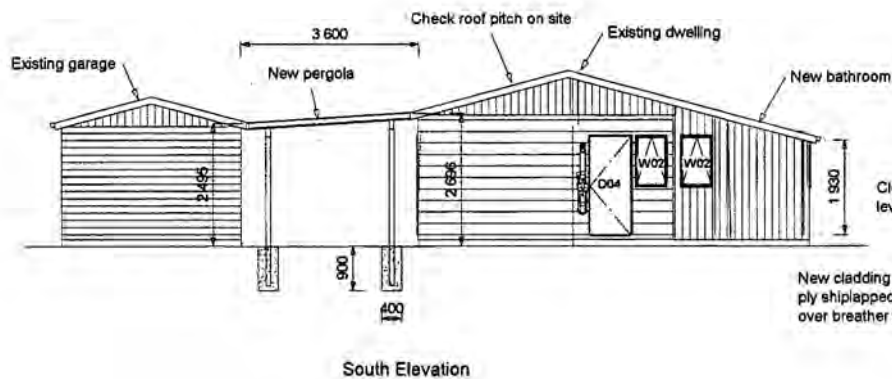
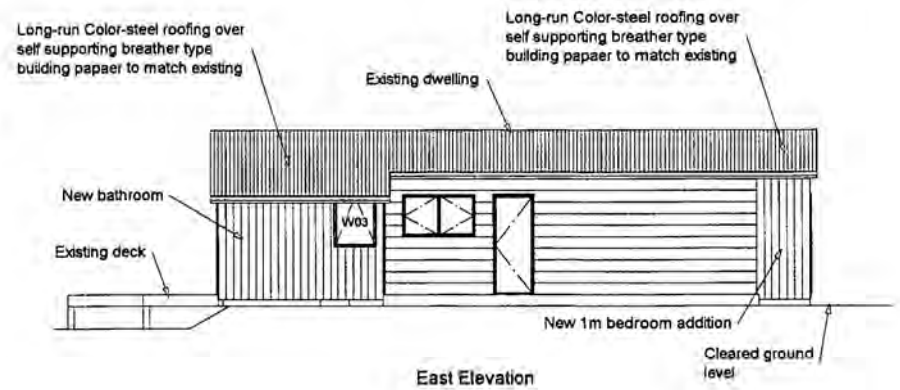
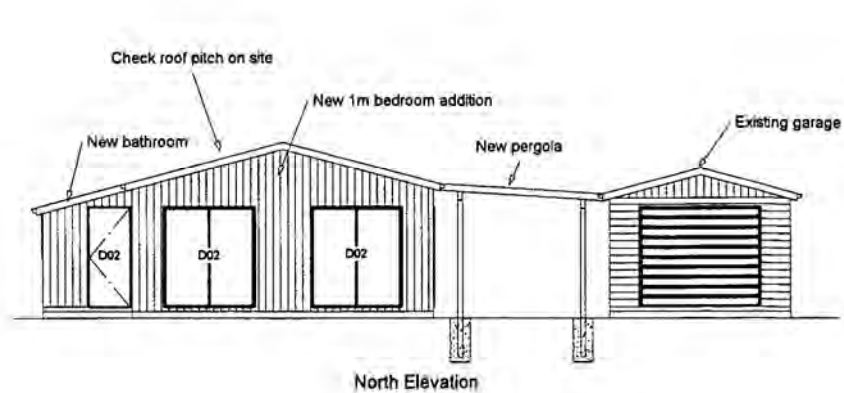
Date: August 2005

Scale: 1 : 100

Sheet No: three

of: thirteen

Drawing No: A3 / 592



New cladding to be H3.2 Shadowclad
ply shiplapped and weather grooved
over breather type building paper

KAIAPARA DISTRICT COUNCIL
BC 06.0008

All construction shall be carried out in accordance with The New Zealand Building Code, NZS 3804 and any Local Authority Bylaws.

All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

Existing building may be recycled to match additions

Check all dimensions on site

Mangawhai Draughting and Design
Dave Stewart

Phone 09 4314 604 Fax 09 4314 602 Mobile 029 4314 604
email dave.draht@tdra.co.nz

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They shall NOT be Copied In Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design

Alterations to Dwelling for
Kathy Lyons at
13 Taranui Place, Mangawhai

Lot 6 DP 80085 Val. No 01221 10600

Elevations

Drawn: Dave Stewart

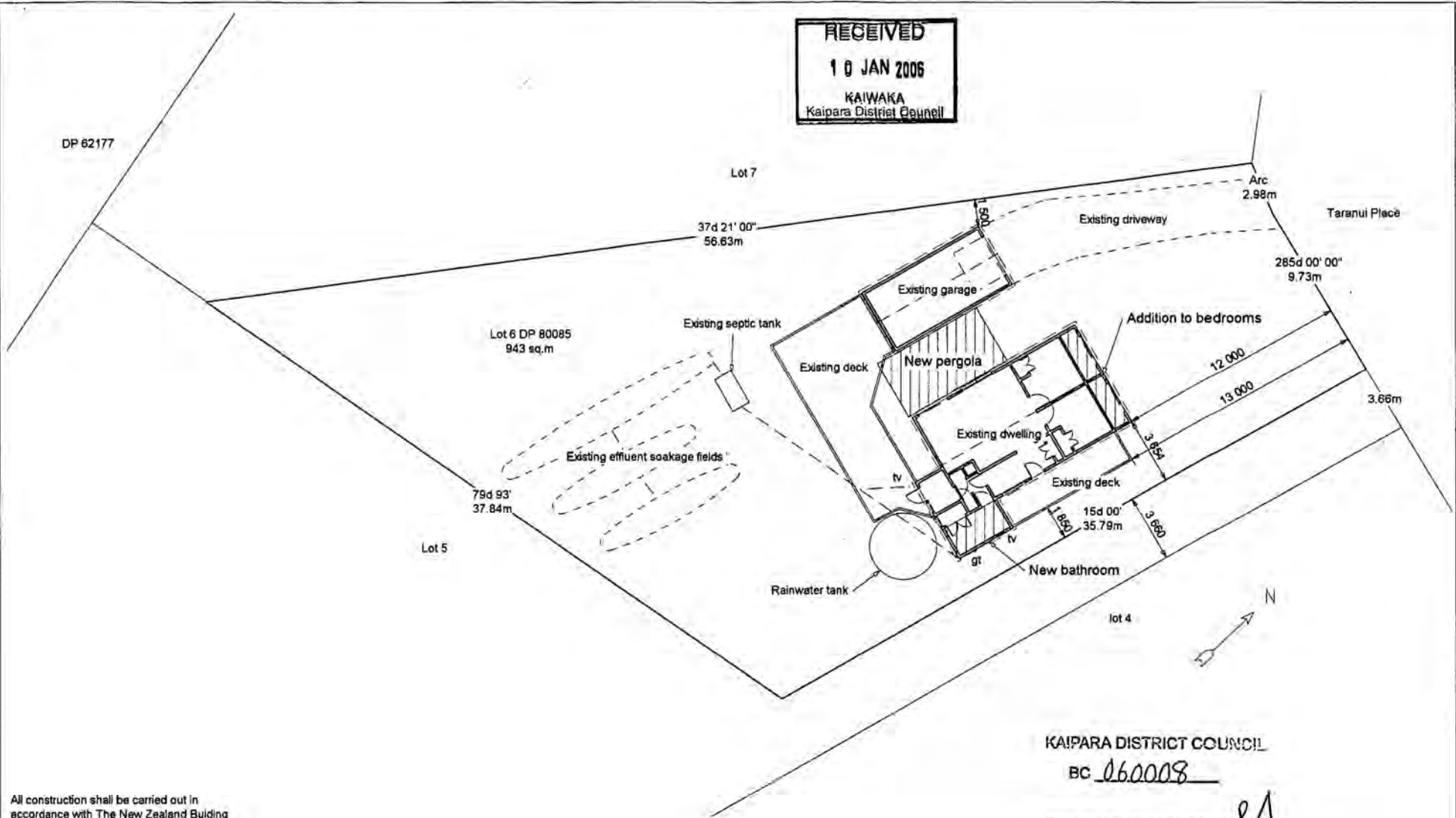
Date: August 2005

Scale: 1 : 100

Sheet No: four

of: thirteen

Drawing No: A3 / 592



KAIWAKA DISTRICT COUNCIL
BC 060008
BUILDING INSPECTOR

All construction shall be carried out in accordance with The New Zealand Building Code, NZS 3604 and any Local Authority Bylaws.

All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

COUNCIL Check all dimensions on site

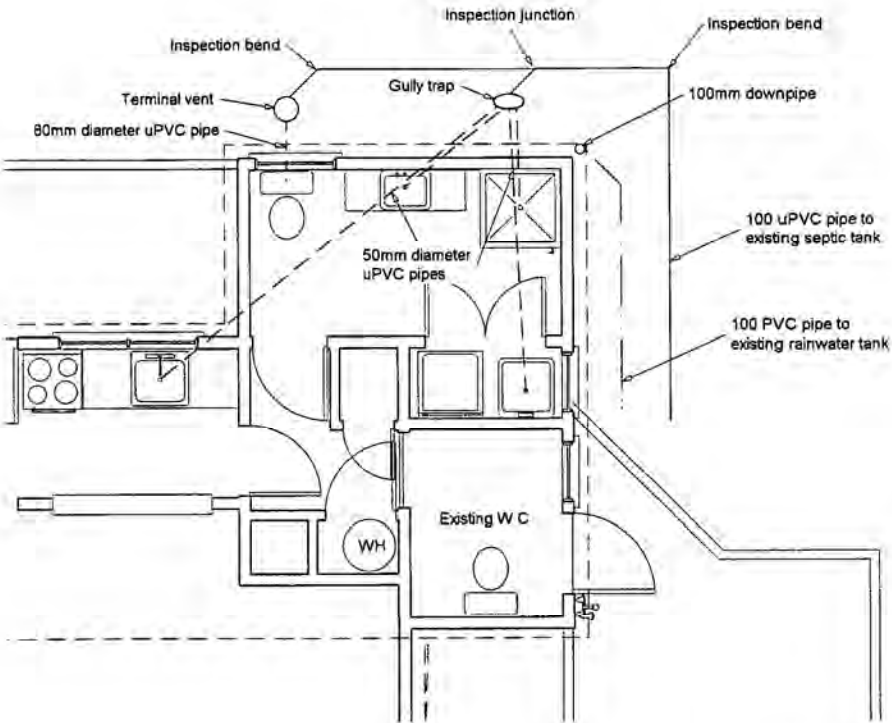
Mangawhai Draughting and Design Dave Stewart Phone 09 4314 604 Fax 09 4314 602 Mobile 029 4314 604 email dave.draft@tra.co.nz	These Drawings and Documents are Copyright and Remain the Property of Mangawhai Draughting and Design. They shall NOT be Copied In Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design	Alterations to Dwelling for Kathy Lyons at 13 Taranui Place, Mangawhai Lot 6 DP 80085 Val. No 01221 10600	Site Plan	Drawn: Dave Stewart Date: August 2005 Scale: 1 : 200	Sheet No: one of: thirteen Drawing No: A3 / 592
--	--	--	-----------	--	---

Plumbing and Drainage Notes

All plumbing and drainage workmanship shall comply with the New Zealand Building Code and/or AS/NZS 3500.

Wastewater pipes shall be uPVC to AS/NZS 1260.

Water pipes shall be 12mm and 20mm copper pipes to NZS 3501.



KAIKARA DISTRICT COUNCIL

BC 060008

DAVID M. STEWART

Check all dimensions on site

All construction shall be carried out in accordance with The New Zealand Building Code, NZS 3604 and any Local Authority Bylaws.

All components used in this structure shall be installed, fixed and flashed in accordance with the manufacturers specifications and the New Zealand Building Code.

Mangawhai Draughting and Design
Dave Stewart

Phone 09 4314 804 Fax 09 4314 802 Mobile 029 4314 804
email dave.draft@ptns.co.nz

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They shall NOT be Copied in Any Form or Passed or Passed On To Any Third Party Without Prior Approval from Mangawhai Draughting and Design

Alterations to Dwelling for
Kathy Lyons at
13 Taranui Place, Mangawhai

Lot 6 DP 80085 Val. No 01221 10800

Plumbing and Drainage Plan

Drawn: Dave Stewart

Date: August 2005

Scale: 1 : 100

Sheet No: eight

of: thirteen

Drawing No: A3 / 592

Code Compliance Certificate 110221

Form 7, Section 95, Building Act 2004

K & G Lyons
5 English Oak Drive
Albany
North Shore City 0632

Issue Date: 13/09/12

Overseer: Eastern

THE BUILDING:

Street Address of Building:	13 TARANUI PLACE, MANGAWHAI
Valuation Number:	0122110600
Legal Description:	LOT 6 DP 80085
Building Name:	
Location of Building within site/block number:	
Level/Unit Number:	
Current Lawfully Established Use:	Housing Detached - Kitchen Addition
Year First Constructed:	

THE PROJECT:

Description:	Addition to kitchen DWELLINGS - ALTERATIONS & ADDITIONS
Type of Work:	
Intended Use:	Housing Detached - Alterations and Additions
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stages

THE OWNER:

Owners Name:	K & G Lyons		
Owners Mailing Address:	5 English Oak Drive, Albany, North Shore City 0632		
Street Address/Registered Office:			
Phone	Landline:	Daytime:	After Hours:
Number	Mobile:	Fax:	
Email:	Website:		
kathylyonsnz@hotmail.com			

FIRST POINT OF CONTACT:

First Point of Contact:	As above
--------------------------------	----------

BUILDING WORK:

Building Consent Number:	110221
Issued By:	Kaipara District Council

This Code Compliance Certificate is issued by the Kaipara District Council. As the Building Consent Authority it is satisfied, on reasonable grounds that:

- The building work complies with the Building Consent 110221

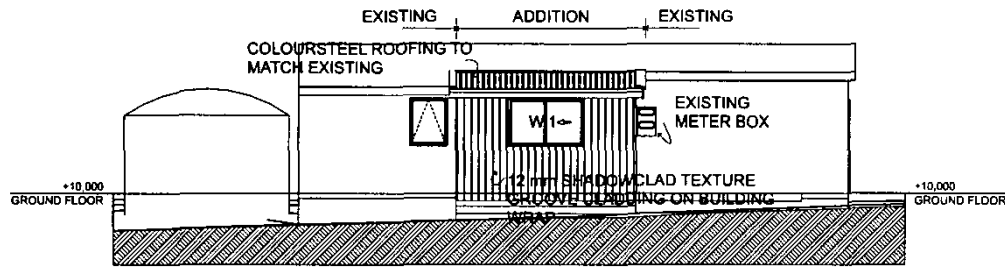
Signature



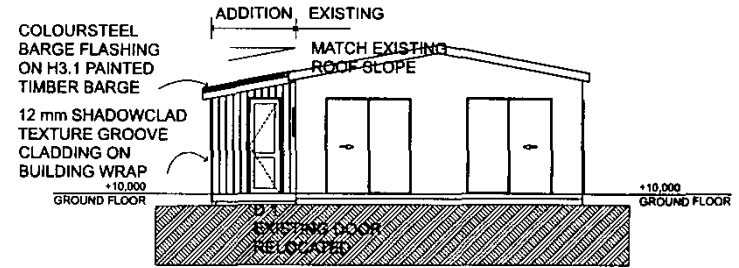
Date: 13/09/12

Position Building Services Officer

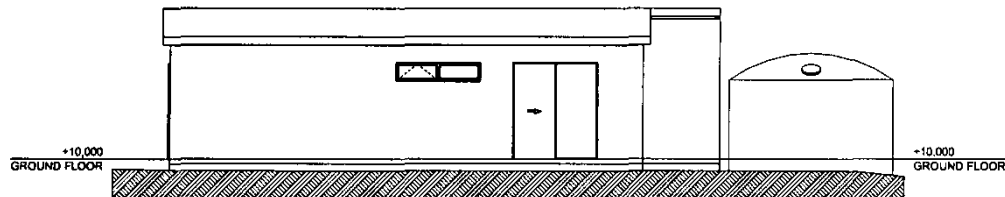
On behalf of: Kaipara District Council



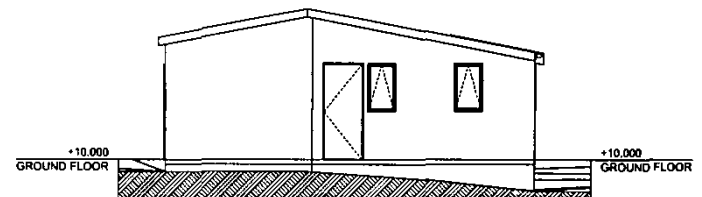
E-03 EAST ELEVATION 1:100



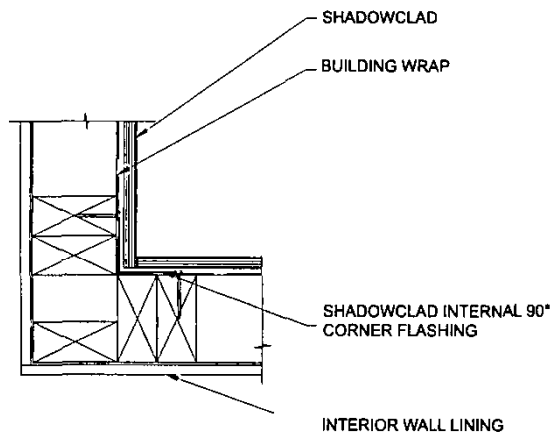
N-02 NORTH ELEVATION 1:100



W-01 WEST ELEVATION 1:100

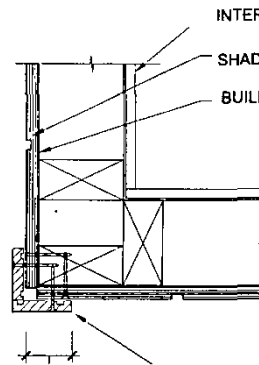


S-04 SOUTH ELEVATION 1:100



TREAT ALL EDGES WITH METALEX END SEAL CLEAR

4 INTERNAL CORNER



65 mm MIN COVER

TREAT ALL EDGES WITH METALEX END SEAL CLEAR

5 EXTERNAL CORNER

INTERIOR WALL LINING

KAIPARA DISTRICT COUNCIL

BC 110 221

BUILDING INSPECTOR

Job Title

11013 ALTERATIONS

For

K LYONS

At 13 TARANUI PLACE
MANGAWHAI



Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

ELEVATIONS

Drawing Number

301

Scale

1:100, 1:1, 1:25

ALL DIMENSIONS TO BE VERIFIED ON SITE

Klassic @ xtra.co.nz - Cherie.

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Low risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		6

CLADDING

PLY DIRECT FIXED TO FRAMING OK AS RISK SCORE <= 6

BRACING

ADDITION AREA 6.8 m²
ADDITION LENGTH 3.8 m
ADDITION WIDTH 1.8 m

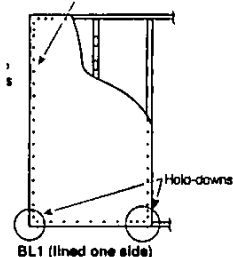
WIND DEMAND:

FOUNDATION ACROSS 38 ALONG 45
TOTAL ACROSS 144 ALONG 81
1 ANCHOR PILE @ 160 BU = OK

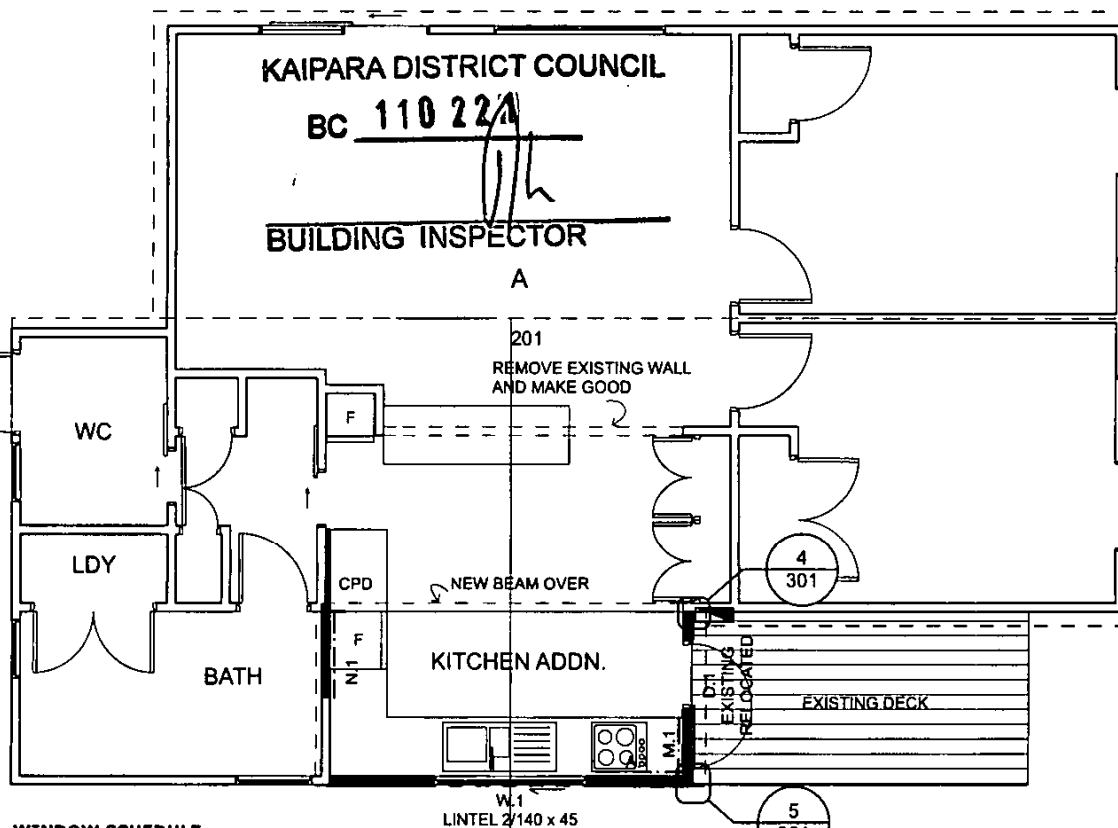
WALLS ACROSS 18 ALONG 25
TOTAL ACROSS 68 ALONG 47

NAME	TYPE	LENGTH	BRACING
ALONG A.1	BL.1	0.900	112 = OK
ACROSS M.1	BL.1	0.600	81
N.1	BL.1	0.900	112
TOTAL			193 = OK

32mm GIB Braceline® Screws or 35mm GIB Braceline® Nails at 150mm centres to perimeter of braced element



BRACING



WINDOW SCHEDULE

W.1
1600 w x 1000 h
ALUMINIUM SLIDING WINDOW

Smoke alarms to comply with clause F7 NZBC

A
201

Smoke alarms to comply with clause F7 NZBC

FLOOR PLAN

CORROSION ZONE, 1
WIND ZONE, LOW

TIMBER FRAMING NOTES:

ALL FRAMING TO BE MSG8/VSG8 UNLESS NOTED. EXCEPT NEW BEAM TO BE MSG10/VSG10

ROWS OF NOGGS GENERALLY AT 800C.RS. OR TO SUIT PLASTER BOARD FIXING

ALL TIMBER FRAMING TO HAVE MAXIMUM MOISTURE CONTENT OF 16% AT TIME OF LINING.

ALL TIMBER TREATMENTS TO BE IN ACCORDANCE WITH NZS 3602 REQUIREMENTS.

WALLS TO BE H1.2 TREATED 90X45 MSG8/VSG8 FRAMING GRADE TIMBER AT 600 CL.

H5 TREATED FOR ALL TIMBER IN CONTACT WITH THE GROUND. H3.2 TREATED FOR ALL EXTERIOR STRUCTURAL FRAMING. H3.1 TREATED FOR ALL EXTERIOR NON-STRUCTURAL MEMBERS. H1.2 TREATED FOR ALL INTERIOR FRAMING UNLESS NOTED.

H1 CALCULATION

ALTERATION TO EXISTING BUILDING THEREFORE THE BUILDING MUST COMPLY WITH H1 TO AT LEAST THE SAME EXTENT AS IT DID BEFORE THE ALTERATION. THE ALTERATION MUST COMPLY, THEREFORE WE PREPARE TO USE THE SCHEDULE METHOD FOR THE ADDITION

ZONE 1	R REQUIRED	R PROPOSED
ITEM		
ROOF	2.9	2.56
WALLS	1.9	1.96
FLOOR	1.3	1.34
GLAZING	0.26	0.26

Job Title
11013 ALTERATIONS

For
K LYONS

At **13 TARANUI PLACE
MANGAWHAI**

Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

FLOOR PLAN

Drawing Number	Scale
102	1:50, 1:1
ALL DIMENSIONS TO BE VERIFIED ON SITE	

klassic @ xtra.co.nz - Cherie.

VELOPE RISK MATRIX		
All Elevations		
	Risk Severity	Risk Score
NZS 3604)	Low risk	0
storeys	Low risk	0
Intersection design	Medium risk	1
width	Very high risk	5
envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		6

CLADDING

PLY DIRECT FIXED TO FRAMING OK AS RISK SCORE <= 6

BRACING

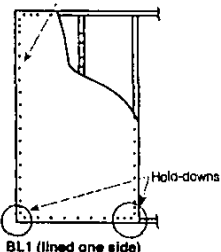
ADDITION AREA 6.8 m²
ADDITION LENGTH 3.8 m
ADDITION WIDTH 1.8 m

WIND DEMAND:
FOUNDATION ACROSS 38 ALONG 45
TOTAL ACROSS 144 ALONG 81
1 ANCHOR PILE @ 160 BU = OK

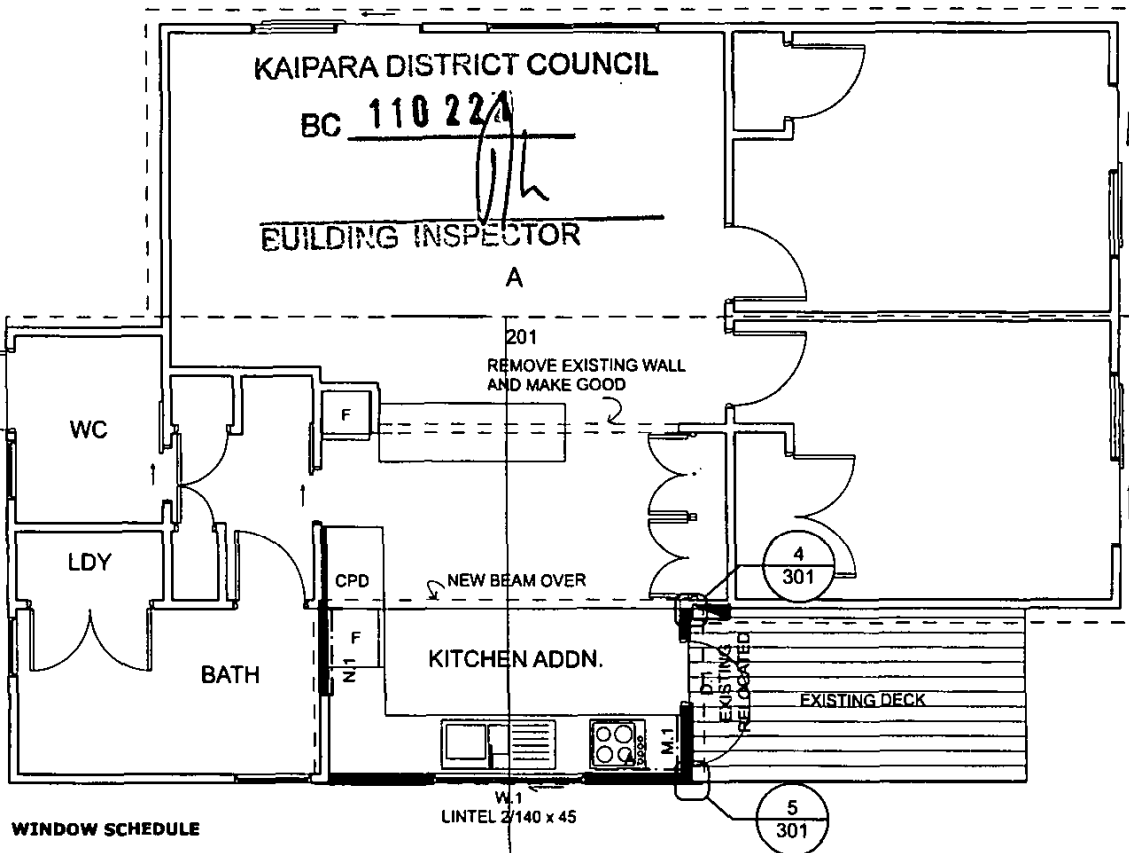
WALLS	ACROSS 18	ALONG 29
TOTAL	ACROSS 68	ALONG 112

NAME	TYPE	LENGTH	BRACING
ALONG A.1	BL.1	0.900	112 = OK
ACROSS M.1	BL.1	0.600	81
N.1	BL.1	0.900	112
TOTAL			193 = OK

32mm GIB Braceline® Screws or 35mm GIB Braceline® Nails at 150mm centres to perimeter of braced element



BRACING



WINDOW SCHEDULE

W.1
1600 w x 1000 h
ALUMINIUM SLIDING WINDOW

Smoke alarms to comply with clause F7 NZBC

A

201

Smoke alarms to comply with clause F7 NZBC

FLOOR PLAN

1:50

CORROSION ZONE, 1 WIND ZONE, LOW

TIMBER FRAMING NOTES:

ALL FRAMING TO BE MSG8/VSG8 UNLESS NOTED. EXCEPT NEW BEAM TO BE MSG10/VSG10

ROWS OF NOGGS GENERALLY AT 800CRS. OR TO SUIT PLASTER BOARD FIXING

ALL TIMBER FRAMING TO HAVE MAXIMUM MOISTURE CONTENT OF 16% AT TIME OF LINING.

ALL TIMBER TREATMENTS TO BE IN ACCORDANCE WITH NZS 3602 REQUIREMENTS.

WALLS TO BE H1.2 TREATED 90X45 MSG8/VSG8 FRAMING GRADE TIMBER AT 600 CL.

H5 TREATED FOR ALL TIMBER IN CONTACT WITH THE GROUND. H3.2 TREATED FOR ALL EXTERIOR STRUCTURAL FRAMING. H3.1 TREATED FOR ALL EXTERIOR NON-STRUCTURAL MEMBERS. H1.2 TREATED FOR ALL INTERIOR FRAMING UNLESS NOTED.

H1 CALCULATION

ALTERATION TO EXISTING BUILDING THEREFORE THE BUILDING MUST COMPLY WITH H1 TO AT LEAST THE SAME EXTENT AS IT DID BEFORE THE ALTERATION. THE ALTERATION MUST COMPLY. THEREFORE WE PREPOSE TO USE THE SCHEDULE METHOD FOR THE ADDITION

ZONE 1	R REQUIRED	R PROPOSED
ITEM		
ROOF	2.9	2.56
WALLS	1.9	1.96
FLOOR	1.3	1.34
GLAZING	0.26	0.26

Job Title
11013 ALTERATIONS

For
K LYONS

At **13 TARANUI PLACE
MANGAWHAI**



Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

FLOOR PLAN

Drawing Number	Scale
102	1:50, 1:1

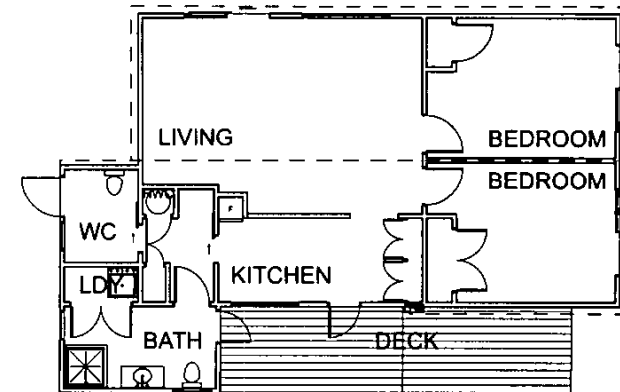
ALL DIMENSIONS TO BE VERIFIED ON SITE

COUNCIL

KAIPARA DISTRICT COUNCIL

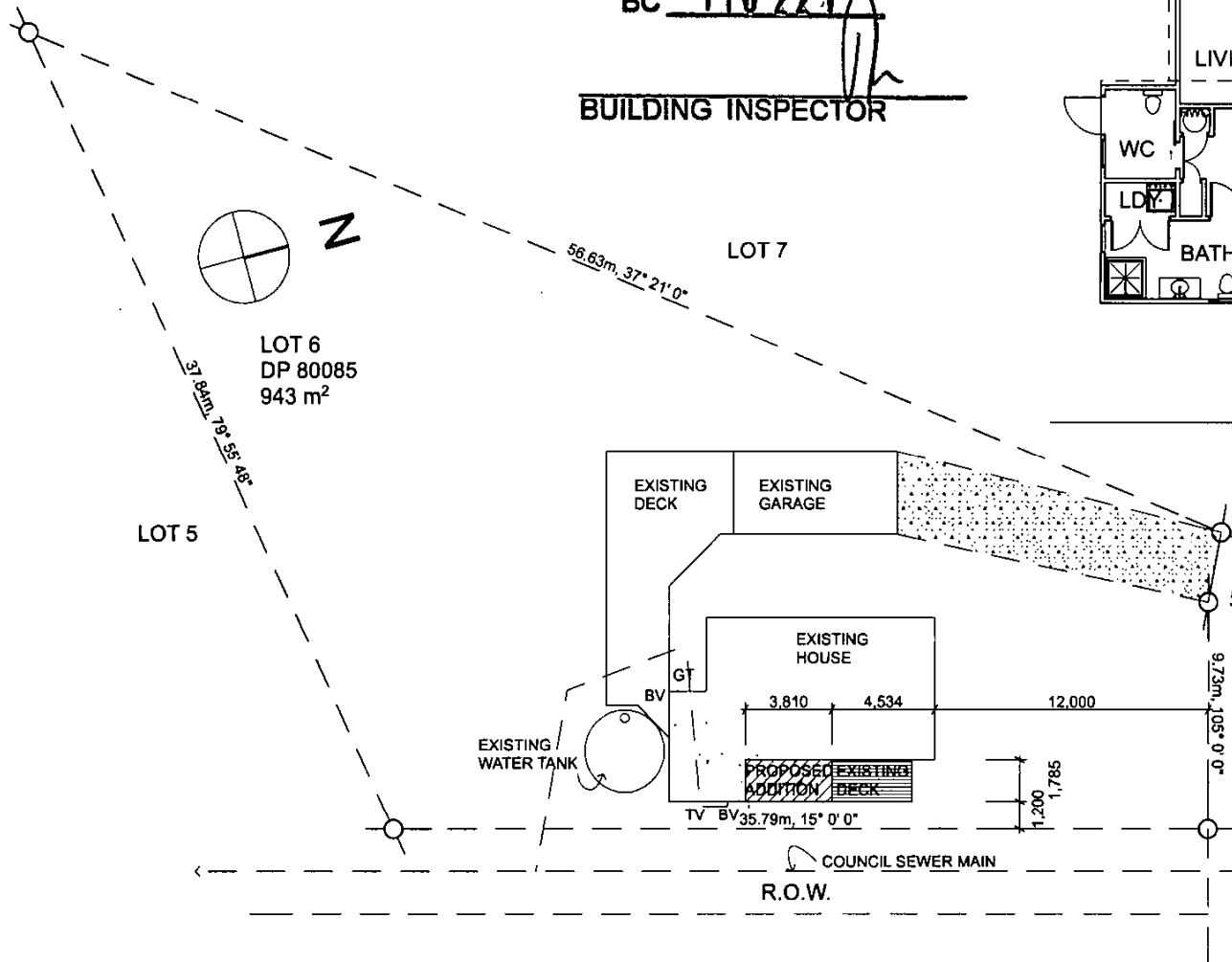
BC 110 221

BUILDING INSPECTOR



EXISTING FLOOR PLAN

1:100



SITE PLAN

1:200

Job Title

11013 ALTERATIONS

For

K LYONS

At

**13 TARANUI PLACE
MANGAWHAI**



Drawn	CC
Checked	CC
Creation Date	19/04/11
Plot Date	4/05/11

Drawing Title

SITE & EXISTING PLANS

Drawing Number

101

Scale

1:200, 1:100

ALL DIMENSIONS TO BE VERIFIED ON SITE

Code Compliance Certificate 110270

Form 7, Section 95, Building Act 2004

Geoff Lyons
5 English Oak Drive
Schnapper Rock
Auckland 0632

Issue Date: 1/07/13
Overseer: Eastern

THE BUILDING:

Street Address of Building:	13 TARANUI PLACE, MANGAWHAI
Valuation Number:	0122110600
Legal Description:	LOT 6 DP 80085
Building Name:	
Location of Building within site/block number:	
Level/Unit Number:	
Current Lawfully Established Use:	Ancillary - Swimming Pool
Year First Constructed:	

THE PROJECT:

Description:	Installation of inground preformed swimming pool SWIMMING POOLS & SPA POOLS
Type of Work:	
Intended Use:	Ancillary - New Swimming Pool
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stages

THE OWNER:

Owners Name:	Geoff Lyons		
Owners Mailing Address:	5 English Oak Drive, Schnapper Rock, Auckland 0632		
Street Address/Registered Office:			
Phone Number	Landline: 09 415 9213	Daytime:	After Hours:
	Mobile: 021 890 896	Fax:	
Email: geoff@hakanz.co.nz	Website:		

FIRST POINT OF CONTACT:

First Point of Contact:	As above
-------------------------	----------

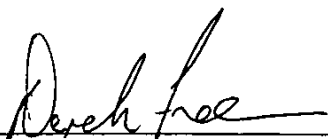
BUILDING WORK:

Building Consent Number:	110270
Issued By:	Kaipara District Council

This Code Compliance Certificate is issued by the Kaipara District Council. As the Building Consent Authority it is satisfied, on reasonable grounds that :

- the building work complies with the Building Consent 110270

Signature



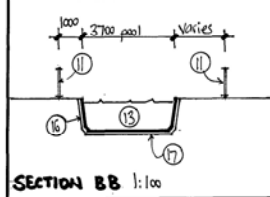
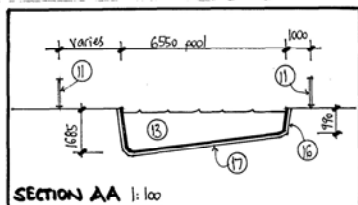
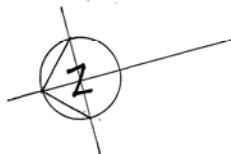
Date: 1/07/13

Position Building Services Officer

On behalf of: Kaipara District Council

TARANUI PLACE

SITE PLAN 1:100



NOTES KEY

1. EXISTING HOUSE
2. EXISTING GARAGE
3. EXISTING DRIVEWAY
4. EXISTING DECK
5. EXISTING WATER TANK
6. POOL PUMP AND FILTER PLANT
7. POOL PIPES
8. POOL BACKWASH TO EXISTING GULLY TRAP
9. EXISTING PUBLIC WASTEWATER DRAIN
10. EXISTING PRIVATE WASTEWATER DRAINS
11. MIN. 1.2m HIGH POOL FENCE TO COMPLY WITH POOL FENCE ACT.
12. OUTWARD OPENING, SELF CLOSING LOCKABLE GATE
13. PROPOSED POOL / 6.55 m x 3.7m AT655
14. PROPOSED PAVING AROUND POOL
15. POOL AREA GRADED LEVEL AT 99.40 (CHECK)
16. BACKFILL — MINIMUM 100mm SAND CEMENT MIX 6:1
17. BASEFILL — MINIMUM 50mm SAND FREE DRAINING BEDDING & DRAINAGE LAYER
18. CONTINUE POOL FENCE FOR 1.2 m AT TOP DECK HEIGHT

SITE COVERAGE

Existing House	- 71 m²
Existing Garage	- 28 m²
Site Total	- 943 m²
Cover Total	- 97 m²
% of Total	- 10 %

SITE IMPERMEABILITY

Proposed Pool	- 22 m²
Decks	- 54 m²
Drives & Paved Areas	- 76 m²
Site Total	- 943 m²
Impermeability Total	- 152 m²
% of Total	- 16 %

KAIKARA DISTRICT COUNCIL
BC 110 270

BUILDING INSPECTOR

LEGAL DESCRIPTION
LOT 6 DP 80085
Site Area 943 m²

A Client Approval and Consent Application
20-06-2011

SHEET TITLE: Site, Drainage Plan & Details

AQUA TECHNICS
POOL AND SPA CENTRE, NZ LTD

27 THE CONCOURSE, HENDERSON
TEL 09 837 5195, FAX 09 837 5198

PROPOSED SWIMMING POOL
at: 13 TARANUI PL, MANGAWHAI
for: GEOFF LYONS

Sheet 1 of 1 June 2011
Drawn: Andy Hackshaw JOB No. TH4488

COUNCIL



SILVERSTONE
CIVIL CONSTRUCTION
 Subdivisions, Commercial Drainage, Bulk Excavating

P O Box 7109
 Tikipunga
 Whangarei
 Ph 09 435 7030
 Fax 09 435 7031

RECEIVED

03 NOV 2009

BY:

JS

MANGAWHAI ECO CARE PROJECT
LIVE HOUSE CONNECTION AS-BUILT RECORD

Date 20.10.09 House No 13 Street TARANUI

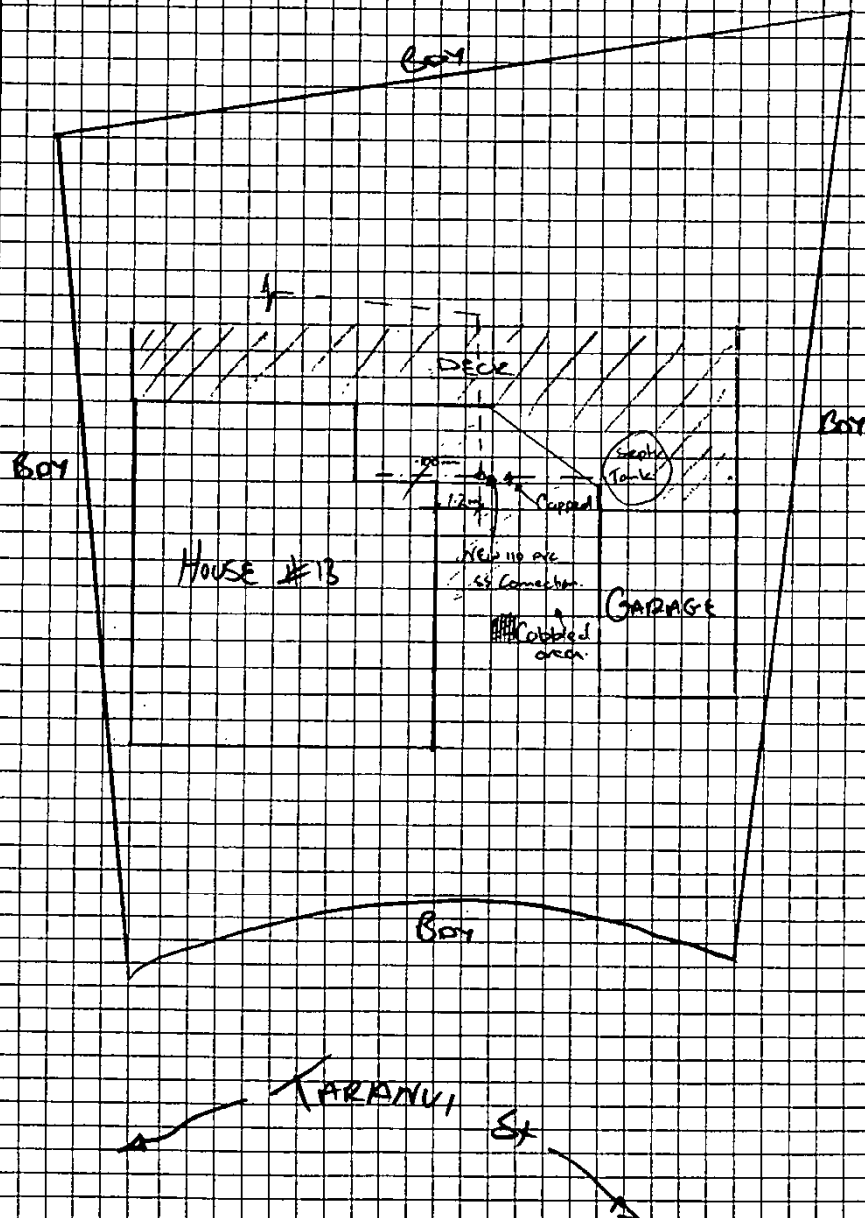
Drainlayer CHASE LYON

As-built plan (One property per page)

Type of Connection	Unit	Qty
Simple Connection	no.	
Other Connection	no.	2
Labour	hrs	6
Digger	hrs	0
110mm PVC	m	1m
Fittings		
90° Elbow		1
5' Bend		1
Slip Coupler		1

Comments

lifting & re-laying
 of cables.
 Imported Sand
 & Cement.




0122110600-D


Asset Map 0122110600

Legend



Stormwater Points

-  Dummy Node




Stormwater Lines

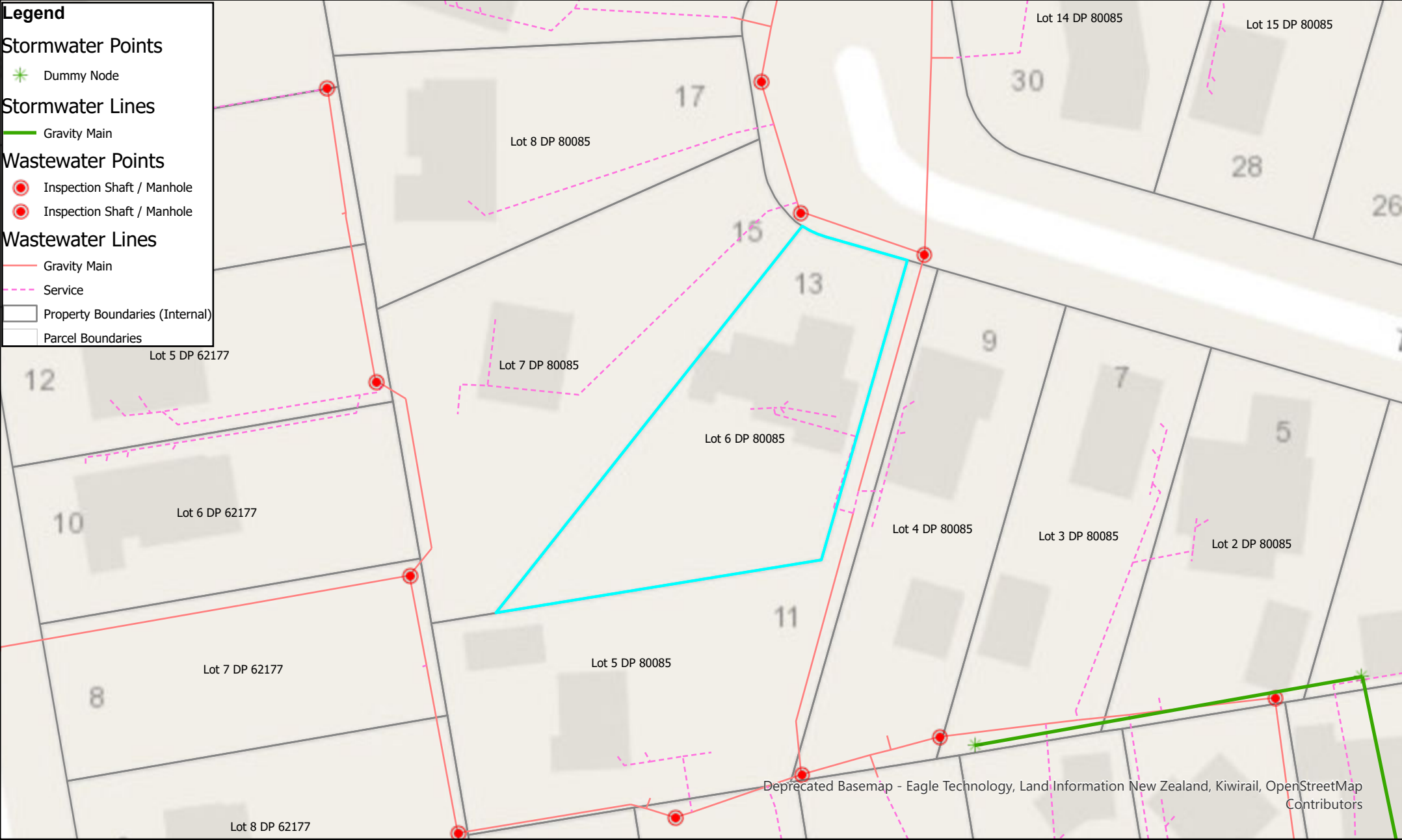
-  Gravity Main

Wastewater Points

-  Inspection Shaft / Manhole
-  Inspection Shaft / Manhole

Wastewater Lines

-  Gravity Main
-  Service
-  Property Boundaries (Internal)
-  Parcel Boundaries



Asset Map 0122110600



Kaipara te Orangahui • Two Oceans Two Harbours

Legend

Stormwater Points
* Dummy Node

Stormwater Lines
— Gravity Main

Wastewater Points
● Inspection Shaft / Manhole
● Inspection Shaft / Manhole

Wastewater Lines
— Gravity Main
- - - Service
□ Property Boundaries (Internal)
□ Parcel Boundaries

