

# RPNZ document ordering service

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**Document, Interest, Instrument: 7738592.2**

**Property: 11A Angus Street, Sydenham, Christchurch City**

**Legal Description: Lot 1 Deposited Plan 400604**

**CoreLogic Reference: 3217853/2**

**Processed: 01 November 2024**

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**Easement instrument to grant easement or profit à prendre or create land covenant**  
Sections 90A and 90F, Land Transfer Act 1952

2003/6180EF  
Approved  
Registrar-General of Land

Land registration district  
Canterbury

**EI 7738592.2 Easement I**  
Cpy - 01/01, Pgs - 004, 04/03/08, 15:47  
  
DocID: 511827564

**Grantor**  
Antonios KATSIPIS, Marjorie Hazel KATSIPIS and Donald Fraser HOWDEN

Surname(s) must be underlined or in CAPITALS.


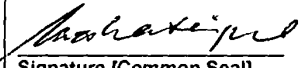

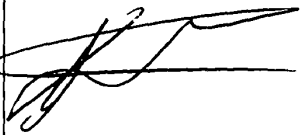


**Grantee**  
Antonios KATSIPIS, Marjorie Hazel KATSIPIS and Donald Fraser HOWDEN

Surname(s) must be underlined or in CAPITALS.


**Grant\* of easement or profit à prendre or creation or covenant**  
The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s) or profit(s) à prendre set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

DATED this 27<sup>th</sup> day of February 2008

**Attestation**

   Signature [Common Seal] of Grantor	<p><b>Signed in my presence by the Grantor</b></p>  Signature of Witness Witness to complete in BLOCK letters (unless legibly printed) Witness name: TOMAS QUINN-WALSHE Occupation: LABOURER Address: 6 WINTON ST ST ALBANS CHRISTCHURCH
   Signature [Common Seal] of Grantee	<p><b>Signed in my presence by the Grantee</b></p>  Signature of Witness Witness to complete in BLOCK letters (unless legibly printed) Witness name: TOMAS QUINN-WALSHE Occupation: LABOURER Address: 6 WINTON ST ST ALBANS CHRISTCHURCH

Certified correct for the purposes of the Land Transfer Act 1952

  
[Solicitor for] the Grantee

\* If the consent of any person is required for the grant, the specified consent form must be used.

**Annexure Schedule 1**


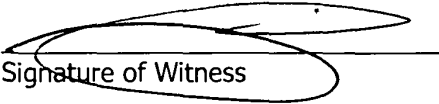
2003/5038EF  
Approved  
Registrar-General of Land

Dated


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\* Insert type of instrument.

Continue in additional Annexure Schedule if required.

<i>w</i> Grantor/Grantee	
	<b>Signed in my presence</b>  Signature of Witness Witness Name: Occupation: <b>Tania Ellice-Harris</b> Solicitor Address: <b>MATAMATA</b>
Donald Fraser Howden	

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.



**Annexure Schedule 1**

2003/6180EF  
Approved  
Registrar-General of Land

Easement instrument

Dated

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**Schedule A**

*Continue in additional Annexure Schedule if required.*

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right to Drain Sewage, Right to Convey Electricity, Telecommunications and Computer Media	'A' on Plan LT 400604	Lot 2 hereon (400906)	Lot 1 hereon (400905)
Right to Convey Electricity, Telecommunications and Computer Media	'B' on Plan LT 400604	Lot 2 hereon (400906)	Lot 1 hereon (400905)

**Easements or profits à prendre rights and powers (including terms, covenants, and conditions)**

*Delete phrases in [ ] and insert memorandum number as required.*

*Continue in additional Annexure Schedule if required.*

Unless otherwise provided below, the rights and powers provided in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are [varied] ~~[negative]~~ [added to] or ~~[substituted]~~ by:

*[Signature]*  
~~[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952].~~

[The provisions set out in Annexure Schedule 2].

**Covenant provisions**

*Delete phrases in [ ] and insert memorandum number as required.*

*Continue in additional Annexure Schedule if required*

~~The provisions applying to the specified covenants are those set out in:~~

*[Signature]*  
~~[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952].~~

~~[The provisions set out in Annexure Schedule 2].~~

**All signing parties and either their witnesses or solicitors must sign or initial in this box.**

*[Signature]*      *[Signature]*      *[Signature]*

**Annexure Schedule 1**

2003/5038EF  
Approved  
Registrar-General of Land

Dated

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*\* Insert type of instrument.*

*Continue in additional Annexure Schedule if required.*

**RIGHT TO DRAIN SEWAGE:**

The same rights and powers as set out in paragraph 4 of the Fourth Schedule to the Land Transfer Regulations 2002.

**RIGHT TO CONVEY ELECTRICITY:**

The same rights and powers as set out in paragraph 7 of the Fourth Schedule to the Land Transfer Regulations 2002. Varied with the deletion of the word "over" in line 4 of the first paragraph and the substitution of the word "under".

**RIGHT TO CONVEY TELECOMMUNICATIONS AND COMPUTER MEDIA:**

The same rights and powers with respect to the right to convey telecommunications and computer media as set out in paragraph 8 of the Fourth Schedule to the Land Transfer Regulations 2002. Varied with the deletion of the word "over" in line 4 of the first paragraph and the substitution of the word "under".

Continuation of rights, powers, terms, covenants and conditions of easements:

The easements described in Schedule A shall include the terms set out in paragraphs 10, 11, 12, 13 and 14 of the Land Transfer Regulations 2002 save that:

(a) Where there is a conflict between the provisions of the Fourth Schedule and/or the Ninth Schedule and the modifications in this Easement Instrument, the modifications must prevail.

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

