

the change agents



444A Bower Avenue

444A Bower Avenue Parklands

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The documents provided in this information pack are review copies only, many provided by third parties and may not be current or complete. The records and reports are subject to update at any time. The information contained is therefore only being provided for basic introductory purposes and should not be relied upon by purchasers. Purchasers are encouraged to obtain their own copies of any records and seek independent legal and professional advice.

Deadline Treaty



 4
  2
  2
  2

Post-Quake Build Large Family Living in Parklands

If schooling matters, outdoor lifestyle matters, and you want a home built with modern foundations, this is one you need to see. 444A Bower Ave is a post-quake, modern 4 bedroom, 2 bathroom home in one of Parklands' most popular pockets. Built after the earthquakes on adjustable RibRaft foundations, it offers genuine peace of mind and future-proofing.

The layout is family-friendly with two living areas and great indoor-outdoor flow. The kitchen connects to a covered BBQ area and pergola, overlooking a fully fenced backyard ideal for year-round entertaining. Generous off-street parking adds extra practicality.

Location highlights:

- ✓ Zoned for Shirley Boys' High School
- ✓ Zoned for Avonside Girls' High School
- ✓ Walk to Taiora QE2
- ✓ Close to Bottle Lake Forest and the beach
- ✓ Near Waimairi Beach Golf Club

This is the kind of home families move into and stay in.

Deadline Sale – All offers to be presented on or before 27th March (unless sold prior).

Conjunctional sales with other agents are welcome. If you've been waiting for something that ticks the practical boxes and gives you confidence long term – come and have a look.

Land Area: 885m²
Floor Area: 190m²
CV: \$850000

View Online:
<https://changeagents.co.nz/property/444a-bower-avenue-parklands/>

Open Homes:
 Contact Damian for viewing times

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Vendor Transparency Document

Address: 444a Bower Ave, Parklands, Christchurch

IMPORTANT NOTE: This form is completed by or on behalf of the vendor to set out information about the property known by the vendor, or to the best of the vendors knowledge. It is provided to purchasers as initial background information only. The statements are not to be relied on by the purchaser or any third party. Nothing in this form constitutes a warranty, guarantee, or obligation of the vendor.

The vendor agrees that if after signing this form, they become aware of any additional information as described in this form or that may be of any interest to the purchaser, they will notify the Licensee immediately to arrange an update to the form which will be provided to the Purchaser. The vendor also agrees that anything additional discovered by the Licensee may be noted at any time to be disclosed to any potential purchasers.

Additional details or forms verifying information may also be included as an appendix if there is not enough space.

Is the Vendor aware of any weather tightness, structural or geotechnical issues (including any past damage)?

Yes No

Is the Vendor aware of any other damage or defect to the property including cladding, internal walls, roof, guttering, piling or any other hidden or underlying defects etc?

Yes No

Is the Vendor aware of any hazards including weatherside cladding, asbestos, dux quest plumbing, scrim or any other similar item that in the vendors discretion, considers may be relevant to a purchaser?

Yes No

Is the Vendor aware of any chattel, fixture or fitting that does not work or is damaged?

Yes No

Is the Vendor aware of any issues regarding the neighbourhood including road changes, planned developments, phone towers or received any notice or demand from any local or government authority or other statutory body, from any tenant of the property or any other party? Has the vendor given any consent for neighbouring builds, developments or renovations or any other matter?

Yes No

Is the Vendor aware of any criminal activity, drug use or creation, deaths (other than as a result of natural cause) or other activity or event that in the vendors discretion & opinion, considers may be relevant to a purchaser?

Yes No

Is the Vendor aware of any outstanding payments on the property including any building work, insulation, chattels, or items that have been agreed to be added to the rates?

Yes No

Is the Vendor aware of any work done at the property by any person at any time that was not correctly permitted, consented, signed off or completed in accordance with the applicable laws or Council requirements?

Yes No

Is the Vendor aware of any matters concerning the boundaries, fencing or title that at the vendors discretion, may cause a prospective purchaser concern? (Eg fencing issues, unclear boundaries or disputes, title complications or requisitions etc)

Yes No



Vendor Transparency Document

Additional Information Provided by the Vendor:

- Has the Vendor completed a Healthy Homes Assessment if tenanted? Yes No
- Does the property have a Healthy Homes Certificate? Yes No NA
- Are there any retaining walls on the property? Yes No
- Has a Code of Compliance Certificate been issued Yes No NA
- Is this a legal Home and Income? Yes No
- Has a Code of Compliance Certificate been issued? Yes No NA
- Is there a wood burner or other fire appliance? Yes No
- Has a Code of Compliance Certificate been issued? Yes No NA
- Is the property insulated? No Under Floor Walls Roof

For all of the above where applicable has the relevant documentation been:

- 1) Provided by vendor Yes No NA _____
- 2) Sited by the agent Yes No NA _____

Describe any renovation work done (even if no consents or certificates were required)?

N/A

Is any other information provided by the Vendor or the Licensee (eg Title, District Plan, LIM Disclosures)

NA

Vendor: Sign: [Signature] Print Name: Steven Frost Date: 17/2/26

Vendor: Sign: [Signature] Print Name: Judith Frost Date: 17/2/26

Vendor: Sign: _____ Print Name: _____ Date: _____

IMPORTANT NOTE FOR PURCHASERS: Any Consents and Compliance Certificates or Reports that have been made available to the Licensee will be included in the information pack. It is strongly recommended the Purchaser and/or their lawyer review these documents (which may or may not have been made available to the Licensee). The vendor may not have disclosed all information about the property or may have no knowledge of issues that are important or relevant to the purchaser and the Licensee may not have specialist knowledge or expertise to comment on aspects of the property. As such, this document is not represented as including everything that a purchaser 'should' be aware of. The purchaser must not rely on this information as complete or accurate and must make their own enquiries and seek professional advice in all respects to fully satisfy themselves as to the condition/suitability of the property and any other matters relevant to the purchaser prior to entering into any contract for sale and purchase.



EQC Information Christchurch

Address: 444a Bower Ave, Parklands, Christchurch

EQC INFORMATION

1. Is the property built after the 2011 earthquake? No Yes - Rebuild Yes - Newbuild (If yes, skip to Land Claim)
2. a) Did you own the property prior to the earthquakes? Yes No
b) Did you receive the transfer of EQC and/or Insurance Claim benefits Yes No
3. Did you receive a Deed of Assignment? Yes No
4. Was the property purchased "As is, where is"? (No assignment of EQC claims and/or Insurance benefits) Yes No
5. Is the property being sold "As is, where is"? Yes No

No Claims (Skip table below)

Claims (Complete table below)

	Completed by owner	Completed Managed Repair	Completed by Previous Owner	Outstanding Works	Cash Payment
CLM_____ / _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CLM_____ / _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CLM_____ / _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CLM_____ / _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CLM_____ / _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Did you lodge the claim/s as the owner of the property or was it assigned to you?

Owner

Assigned to us

6. Is full documentation provided?

Yes

No

7. If there were any Cash Payments/Outstanding Repairs, what do you intend to do?

Transfer the money

Complete the repairs

LAND CLAIM INFORMATION (EQC)

1. Has there been a land claim? (If no go to insurance)

Yes No

2. IF YES What is the claim for? _____

3. Have you received a land claim settlement?

Yes No

4. Has the Land Remediation (including retaining walls if applicable) been completed?

Yes No

5. Has EQC identified the land as subject to Increased Liquefaction Vulnerability? (ILV)

Yes No

6. Has EQC Identified the land as subject to Increased Flooding Vulnerability (IFV)

Yes No



EQC Information Christchurch

INSURANCE INFORMATION

1. Which company is your Dwelling insurance with? AMI Insurance.
2. What is your Policy Number? HOMA 00941092
3. Have you lodged a claim/or had a claim assigned to you? (if no, go to next section) Yes No
4. What is the insurance claim number(s)? _____
5. What is the claim(s) for? _____
6. Have the repairs been completed? Yes No
7. Have you been paid out by your insurance company for any incomplete repairs? Yes No
Amount of payment(s) \$ _____
8. If there were any Cash Payments/Outstanding Repairs, what do you intend to do? Transfer the money Complete the repairs

Any other information provided by the Vendor or Licensee related to EQC & Insurance Claims

VENDOR DECLARATION

I/We declare that to the best of our knowledge, the information provided is true and correct. I/We give permission for any potential purchaser to contact our Insurance Company with our policy number in order to arrange their own insurance on the property.

Vendor: Sign: [Signature] Print Name: Judith Frost Date: 17/2/26
Vendor: Sign: [Signature] Print Name: Steven Frost Date: 17/2/26
Vendor: Sign: _____ Print Name: _____ Date: _____

IMPORTANT NOTE FOR PURCHASERS: Any Consents and Compliance Certificates or Reports, EQC Files & Insurance Information that have been made available to the Licensee will be included in the information pack. It is strongly recommended the Purchaser and/or their lawyer review these documents (which may or may not have been made available to the Licensee). The vendor may not have disclosed all information about the property or may have no knowledge of issues that are important or relevant to the purchaser and the Licensee may not have specialist knowledge or expertise to comment on aspects of the property. As such, this document is not represented as including everything that a purchaser 'should' be aware of. The purchaser must not rely on this information as complete or accurate and must make their own enquiries and seek professional advice in all respects to fully satisfy themselves as to the condition/suitability of the property and any other matters relevant to the purchaser prior to entering into any contract for sale and purchase.



Understanding Your Title

The information below are some common 'interests' that may be listed on a property title with simple explanations about the restrictions or rights that could affect the property. Some interests, district plan information, LIM information or other information that has come to the Agents attention may be further detailed on the documents supplied. Some documents may not have been made available to the agent such as the LIM report which means the agent may not have been able to verify some information about the property.

These explanations are not intended to be legal advice or to be relied on by a prospective purchaser. Reading and interpreting the documents is a specialist area. It is the purchaser's sole responsibility to ensure they fully understand the title and related documents from their own investigations and independent professional advice, and the purchaser must not rely solely on the information provided by the Agent or Vendor prior to entering into an agreement to purchase the property. It is strongly recommended that the purchaser seeks advice and explanation about the Title, LIM, District Plan and other relevant documents from their own lawyer or registered conveyancer.

Easements

An easement is the granting or benefit of rights in land that do not include possession. Usually easements allow one party to cross another party's land for a particular purpose, such as rights of way, rights to convey water, gas, electricity or telecommunications, or rights to drain stormwater or sewage. The location of such easements will usually be shown on the plan of the property attached to the certificate of title. "Subject to" means the property gives the benefit to another property. "Appurtenant hereto" means the property has the benefit of the easement.

Easements are not always for the benefit of neighbouring land. An easement in gross has no beneficiary. It is usually in the form of a grant to a territorial authority, or a utility company such as Spark or Vector. The territorial authority or utility company will have the right to access the land for maintenance work.

It must be noted that some easements, such as old drainage easements, may not be recorded on the certificate of title, but will usually appear on district plan maps. There are also a number of "universal" easements, such as those protecting against the undermining of a neighbour's property through excavation. These are common law easements, and not normally registered on the title. May affect use of the property so it is highly recommended to investigate further and seek legal advice.

The easements created by Easement Instrument.... are subject to Section 243 (a) Resource Management Act 1991

The reference s243(a) of the Resource Management Act 1991 simply means that the easement created under easement instrumentcannot be surrendered by the owner of the title without prior consent of the council.

Resource Management Act 241(2)

Refers to details in the RMA section 241(2) likely in relation to the subdivision of the property.

Consent Notice pursuant to Section 221 Resource Management Act 1991

A consent notice registered against the Title gives notice of the conditions of the subdivision consent under which the land was subdivided which bind the owners going forward. This may affect your use of the property so it is highly recommended to seek further legal advice and view any relevant documentation.

Lease of Flat 1 & 2

Relate to the cross lease of the property. This may affect your use of the property so it is highly recommended to view memorandum of lease for further details and to seek further legal advice.

Fencing Covenant

Fencing covenants are used by subdividers and developers to enable them to avoid their contribution to a fence between their property and adjoining land, as provided for in the Fencing Act 1978. Fencing covenants are recorded on the certificate of title, but expire at the time of sale of the adjoining land by the first purchaser, or at the end of 12 years. However, the covenant is not automatically removed from the certificate of title. Please note that fencing covenants registered on titles that adjoin Crown lands – for example, reserves – may run with the land. Do not confuse a Fencing Covenant with a Fencing Agreement (below).

Fencing Agreement

Is an agreement between adjoining neighbours to do or not do something that would otherwise be permitted. (It contains rules about fencing etc that must be adhered to by various parties.). May affect use of the property so it is highly recommended to view the relevant document and seek further legal advice if there is a Fencing Agreement registered on the title.

Land Covenant

Contains various rules/regulations in relation to the property as private agreements between parties or imposed by the council. This may affect your use of the property so it is highly recommended to view relevant documentation for specific details and it is recommended to seek further legal advice and a full explanation from your solicitor.

Building Line Restriction

A building line restriction may limit where you can build on the property. Recommended to investigate further based on your requirements for the property and to confirm there are no obvious encroachments from existing dwellings. Note that some building line restrictions may not be included on the title but are included on the District Plan. It may affect your intended use of the property so it is highly recommended to view relevant documentation and to seek further legal/technical advice for the full details.



Marginal Strip

A Marginal Strip is Crown land adjacent to foreshore, lake, rivers or streams greater than 3 metres wide that is sold or otherwise disposed of, the strip of land no less than 20 metres wide is deemed reserved. This means that the owner of the ex-Crown property located adjacent to the waterway does not own the first 20 metres of that property. This may affect your use of the property so it is highly recommended to seek further investigation/technical advice for full details.

Limited as to Parcels

This means that the property has never been properly surveyed and as such the dimensions of the site it refers to are not guaranteed. This is usually not found in the interests but at the top of the title document. If this is on the title it is highly recommended to seek further legal and specialist advice.

Additional Interests/Subject to various acts

Additional interests may not be common interests on a title and the salesperson may not be familiar with the implications of these interests. It is highly recommended to seek further legal/technical advice.

Identifying & Managing Property Risks

Buying a property is a significant investment, and it's essential to be aware of potential risks before making a decision. This guide helps buyers identify key issues in a property and understand the necessary due diligence steps to avoid costly surprises.

It's important to note that real estate agents and vendors are not specialists in identifying structural, environmental, or legal issues. While they may provide general advice, it is important to seek professional advice from building inspectors, surveyors, and legal experts and other specialist reports.

Recognising Property 'Warning Signs'

If a property exhibits any of the following warning signs, further investigation is necessary before proceeding with a purchase.

Structural and Material Concerns:

- Monolithic or Weatherside cladding – These materials may pose water-tightness issues.
- Cracks, chips, or bubbling of cladding – Could indicate structural or moisture problems.
- Flat roof or narrow/no eaves – May require more maintenance and have lower weather resistance.
- Recessed or sloping windows sealed by silicone – Check for leaks or improper sealing.
- Concealed guttering and downpipes – Hidden drainage systems can lead to undetected damage.
- Complex architectural designs – More intricate designs may require specialized inspections.

Interior and Plumbing Issues:

- Signs of dampness – Look for mold, water stains, or musty odors as potential moisture indicators.
- Scrim wall linings – These older materials can be a fire hazard.
- Asbestos materials – Professional assessment may be required for safety.
- Dux Quest plumbing – This type of plumbing has known failure risks and may need replacement.

Structural Risks and Compliance Issues:

- Decks over 1m in height – Ensure they meet stability and council compliance standards.
- Retaining walls over 1.5m – Structural integrity should be carefully assessed and CCC requirements.
- Subsidence concerns – Investigate land stability and foundation strength.
- Obscure boundary lines – Verify property boundaries to avoid legal disputes.

Legal and Unpermitted Work:

- No flashings on windows or doors – This can lead to leaks and weatherproofing failures.
- Signs of unauthorized work – Ensure all renovations or extensions have council approvals.
- Built in the early 1990s to early 2000s – Some properties from this era may have known building issues such as untreated timber.
- Possible criminal activity (drug use/manufacturing) – Look for signs such as chemical odors, covered vents, or unusual wiring.

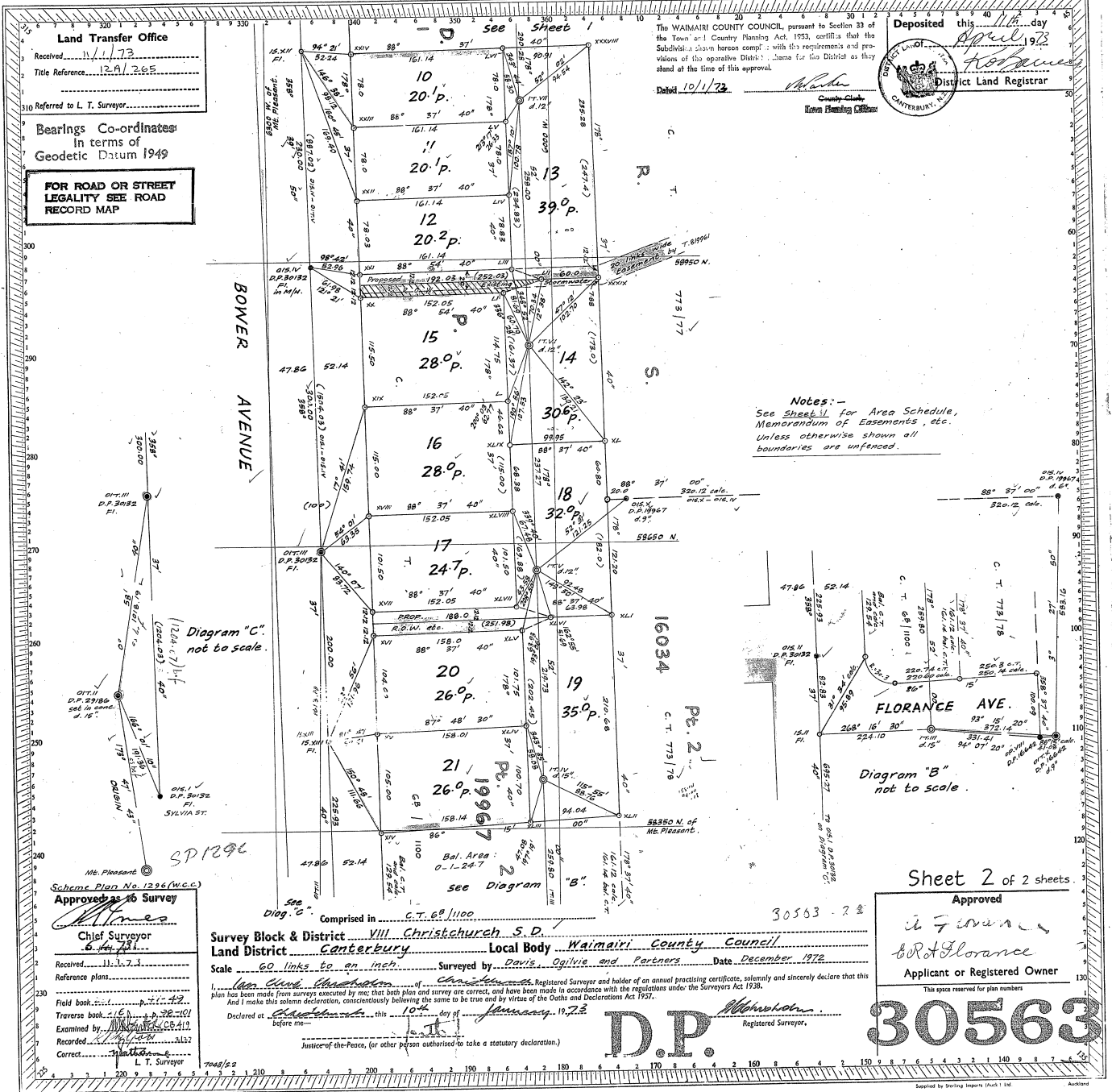




Scan to access

- [S&P Agreement Guide](#)
- [Agency Agreement Guide](#)
- [Code of Conduct](#)
- [In-house Complaints prodecure](#)





Land Transfer Office
 Received 11/1/73
 Title Reference 12A/265
 Referred to L. T. Surveyor

Bearings Co-ordinates
 in terms of
 Geodetic Datum 1949

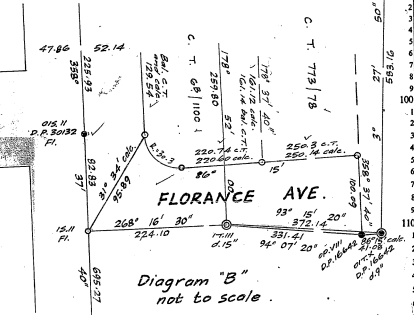
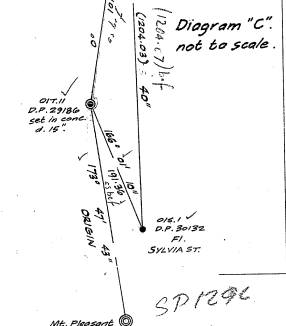
**FOR ROAD OR STREET
 LEGALITY SEE ROAD
 RECORD MAP**

The WAIMAIRI COUNTY COUNCIL, pursuant to Section 33 of the Town and Country Planning Act, 1953, certifies that the Subdivision shown hereon complies with the requirements and provisions of the operative District Scheme for the District as they stand at the time of this approval.

Deposited this 11th day of April 1973
 District Land Registrar

Dated 10/1/73
 County Clerk
 Waimairi Planning Officer

Notes:-
 See Sheet 1 for Area Schedule, Memorandum of Easements, etc.
 Unless otherwise shown all boundaries are unfenced.



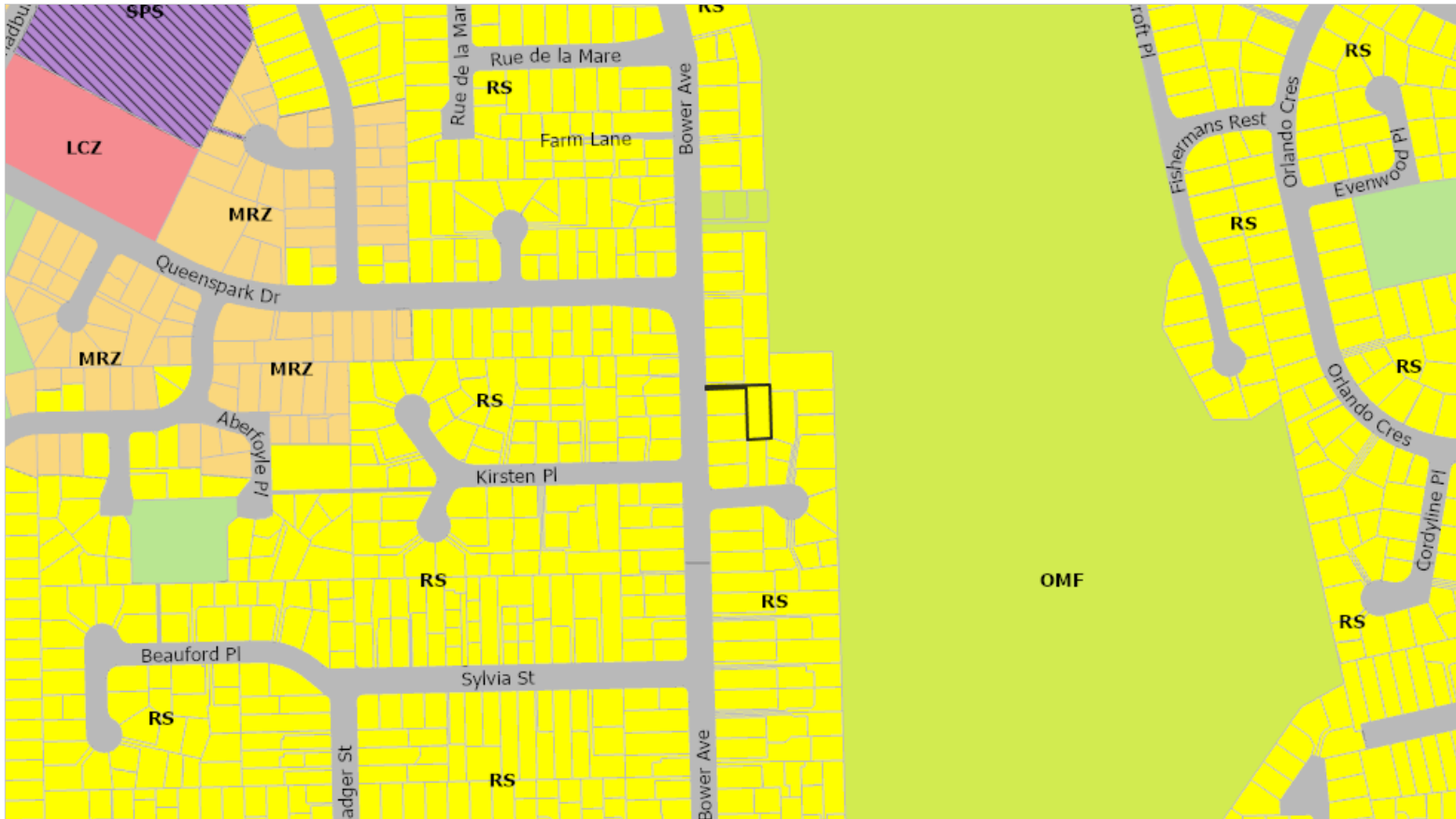
Scheme Plan No. 1296 (W.C.C.)
 Approved as to Survey
 Chief Surveyor
 Received 11/1/73
 Reference plans
 Field book 11-43
 Traverse book 11-201
 Examined by 12A/265
 Recorded 11/1/73
 Correct
 L. T. Surveyor

Comprised in C.T. 68/1100
 Survey Block & District VIII Christchurch S.D.
 Land District Canterbury Local Body Waimairi County Council
 Scale 60 links to an inch Surveyed by Davis Ogilvie and Partners Date December 1972
 I, D.P. Abushorn, of Christchurch, Registered Surveyor and holder of an annual practicing certificate, solemnly and sincerely declare that this plan has been made from surveys executed by me that both plan and survey are correct, and have been made in accordance with the regulations under the Surveyors Act 1938.
 And I make this solemn declaration, conscientiously believing the same to be true and by virtue of the Oaths and Declarations Act 1957.
 Declared at Christchurch this 10th day of January 1973
 Justice-of-the-Peace, (or other person authorised to take a statutory declaration.)
D.P. Abushorn
 Registered Surveyor

Sheet 2 of 2 sheets.
 Approved
B.R. Florence
 Applicant or Registered Owner
 This space reserved for plan numbers
30563



Christchurch District Plan Property Search Zones and Designations



Map Legend

- Land Use Zones**
- Zone Labels
- Zone
 - OC** Open Space Coastal Zone
 - OCP** Open Space Community Parks Zone
 - OMF** Open Space Metropolitan Facilities Zone
 - OWM** Open Space Water and Margins Zone
 - RS** Residential Suburban Zone
 - SPS** Specific Purpose (School) Zone
 - Transport Zone
 - CCZ** City centre zone
 - LCZ** Local Centre Zone
 - MRZ** Medium Density Residential Zone
 - NCZ** Neighbourhood Centre Zone
- Designations and Heritage Orders**
- Designation
 - Designation

444A Bower Avenue Property Search Results

The information below is relevant to the selected property. Click on the blue text below for more details.

Land Use Zones

- Zone
- RS** Residential Suburban Zone

This property is on the following planning maps: [20](#)

The Property Search function is a tool to assist with navigating to particular properties or areas. The data used in the Property Search tool has been derived from the planning maps. All due care has been taken by the Christchurch City Council to ensure the information is accurate and reflects the information on the planning maps. However, the information and maps shown through the Property Search function are not the planning maps themselves. Users are recommended to refer also to the planning maps. The Property Search function page provides a direct link to the planning maps at the bottom of the information relevant to the property.

Christchurch City Council accepts no liability for any error, omission, or inaccuracy of the information or from any use of or reliance on the information provided through the Property Search function.

PEAK CONSTRUCTION LIMITED (Goldstar)
Schedule of Specification of Dwelling to be Constructed

Client Name: S&J Frost Date: 30/08/2013
 Site Address: 444A Bower Ave Present Address: 444A Bower Ave
Burwood Christchurch
Christchurch
 At Lot No: 19 DP No: 30563 Land area: 885
 Mobile: 021 2588027 Home: 03 3838511 House size: 190.2 sqm
 Sales Person: Trevor Creighton Email: tsbsfrost@msn.com Job num: 90355

External Works		Size					
Driveway Crossing	Excluded	Excluded					
Driveway	Included	Asphalt (max 100mm deep metal)	65	sqm			
Patios and paths	Included	Coloured concrete (max 100mm deep metal)	35	sqm			
Decks	Excluded	Excluded	0	sqm			
Steps	Excluded	Excluded	0	number			
Fencing	Excluded	Excluded	0	LM			
Fence staining	Excluded	Excluded	0	LM			
Gate	Included	Timber Gate 1m wide x 1.8m high	1	number			
Clothesline	Included	Builders Selection					
Letterbox	Included	Builders Selection					
Other	Excluded		0				
Other	Excluded		0				
Landscaping	Excluded	Ready lawn	N/A	Mulch	N/A	Plants	N/A
Retaining walls	Excluded						
Ground level exterior works	na						

Site Works	
Services - phone, water, drainage	Included - connection at boundary
Services - power	Included - connection at boundary (Excludes costs to change overhead to underground)
Septic Tank	N/A
Edge Protection	Included
Scaffolding	Included
Site Security	Included
Site Access	Heavy vehicle access to be provided to builder
Survey	Standard site survey included (excludes repegging)
Building Consent	Treated as future variation to insurer
Foundation Engineering	Included
Finished Floor Height	FFL 320mm above existing ground level Price and foundation excludes raising foundations and/or site to higher level if required for flood zones unless noted above
Excavation	280mm dig out maximum with 100mm gravel raft
Removal of Spoil	Included
Foundation	Firth releveable slab. Subject to full engineering approval Excl piling, bridging, rock excavation, bearing pressure less than 100kpa. Mesh to DBH standards.

Exterior	
Framing	Galvanized ZOG® Steel trusses to engineers design Roof pitch 25.0 degrees Galvanized ZOG® Steel frames with 25mm Galv ZOG steel ceiling battens & roof purlins E61 10mm exterior frame cover-up with Thermacraft Building Paper 50yr Durability Warranty, G550 High Tensile Steel. Frames designed and rated to Earthquake Zone A
Exterior Cladding	50mm ERF® aerated concrete panel cladding system plastered and painted
Gables	N/A
Roofing Type	Shake safin tile roof with Angle trim and underlay, rated to a high wind zone. Satin finish
Roof Lining	Fire retardant roof underlay

SIGNED Trevor Creighton SIGNED [Signature]
 DATE 25/9/13 DATE 25/9/13

[Handwritten signature]

Exterior continued	
Exterior Joinery	Thermally broken powdercoated aluminium windows and doors (including Garage) Black window hardware, pre-primed H3 Treated FJ Pine liners
Toughened Safety Glass	Excluded
Bathroom Joinery	Passive vents with Etchlite glass
Etchlite Glass	To toilet, bathroom, ensuite, rear door all remaining glass is clear
Tinted Glass	N/A
Front Door	Flush panel thermally broken aluminium front door (5 colours only)
Front Door Hardware	Schlage FE595 electronic key pad - Satin chrome
Spouting	Coloursteel fascia & gutter c/w coloursteel downpipes
Garage Door	4500 Conqueror Cambridge Flat Panel Velvet sectional door c/w opener and remotes
Second Garage Door	N/A
Garage Door Glass Inserts	N/A
Separate Garage cladding	N/A
Separate Garage electrical	N/A
Exterior Taps	3 x Brass HMC 15mm taps
Finishing Timber	Paint Quality
Painting Soffits	Peak Construction
Solafubes	N/A
Interior	
Carpets	Catlins quality heavy duty cut pile carpet (included as contents)
Bathrooms	Vinyl from builders selection
Entry & Kitchen	Tiles in 4sqm of entry (tiles from builders selection)
Interior Lining	10mm GIB board to ceilings taped and stopped to paint finish 10mm GIB board to walls taped and stopped to paint finish
Interior Doors	Flush PQ HC doors with 18mm Flat FJ paint quality pine jambs
Door Architraves	No.19 40mm single bevel FJ pine
Interior Door Hardware	Schlage Elan satin chrome. Privacy locks to bathroom and ensuite. Passage sets to wardrobe doors, magnetic double doors.
Door Stops	Chrome
Skirting	No.20 60mm single bevel FJ paint quality pine
Skofia	Gib Classic Cove 55mm
Insulation	Ceilings - R3.6 Insulation to living areas - excludes garage(s) Walls - R2.2 Insulation to external walls of house and internal wall between house and garage(s). Total R rating of R2.6 with ESI Board.
Wardrobes	Ventilated shelving system - white
- Walk In Wardrobe	Ventilated shelving system - white
Hot Water Cupboard	Ventilated shelving system - white
- Hall Cupboard	Ventilated shelving system - white
Interior Corners	Round corners to all internal walls
Decorating	Flat finish to ceilings, Low Sheen finish to walls - Up to 3 paint colours NB: Extra paint colours and feature walls will incur additional costs
Finishing Timber	Paint Quality
Kitchen	
Kitchen Type	Merivale - Formica
Bench Top	Laminate with rolled edges
Kitchen Units	Melamine carcasses
Door & Drawer Fronts	Melamine from select colour range or Laminate with PVC Edging
Handles	"D" Handles - (from Builders Selection)
Sink	Stainless steel twin sink bowl insert with draining tray. (From Builders selection)
Pantry	Melamine carcass with adjustable shelves
Pantry(s)	Melamine carcass with adjustable shelving
Sink Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome

SIGNED

gathnot

SIGNED

Seth

DATE

25/9/13

DATE

25/9/13

u f

Bathroom	
Shower	Clearlite Sierra 900mm x 900mm Tray and Liner - white
Shower Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Shower Rose	Methven Echo Strata sliding shower rail - chrome
Bath	Clearlite Pacific 1855 x 740mm - white
Bath Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Bath Spout	Methven SP99CP - Chrome
Vanity	ZARA Z75DWH (750mm) Wall hung Italian porcelain top, single drawer vanity - Charred Oak
Vanity Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Mirror	Frameless - 700mm wide x 900mm high
Toilet	Caroma Trident smartflush 4.63 S Trap-981636W
Toilet Vanity	N/A
Tiling	100x300 white tiles to bath surround & between vanity and mirror
Ensuite	
Shower	Clearlite Sierra 900mm x 900mm Tray and Liner - white
Shower Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Shower Rose	Methven Echo Strata sliding shower rail - chrome
Bath	N/A
Bath Mixer	N/A
Bath Spout	N/A
Vanity	ZARA Z75DWH (750mm) Wall hung Italian porcelain top, single drawer vanity - Charred Oak
Vanity Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Mirror	Frameless - 700mm wide x 900mm high
Toilet	Caroma Trident smartflush 4.63 S Trap-981636W
Tiling	100x300 white tiles between vanity and mirror
Laundry	
Tub	G & A Ultratub UT555 including soap dispenser, pull out basket Space for washing machine

SIGNED *[Signature]*
DATE 25/9/13

SIGNED *[Signature]*
DATE 25/9/13

Electrical		
Recessed lights	18	
Power Points - Single	7	Required for Fridge/Rangehood/Microwave/Hall/Bathroom/Ensuite/Garage door
- Double	11	1 Required for Dishwasher / Waste Disposal
2 Way Light Circuit	1	
TV Points	2	
Phone Points	2	
Heated Towel Rails	2	White S type heated towel rail
Heater/Extractor/Light Units	2	c/w soffit ducting kit
Smoke Detectors	2	
Fire Place	Supply & install 900mm decorative gas fire - Rinnal Arriva 750	
Heat pump	Heatpump - MSZ-GE26VA 3.2kW Fully Installed	
Hotwater Cylinder	Rheem Infinity 26L Gas Hot Water	

[Handwritten marks]

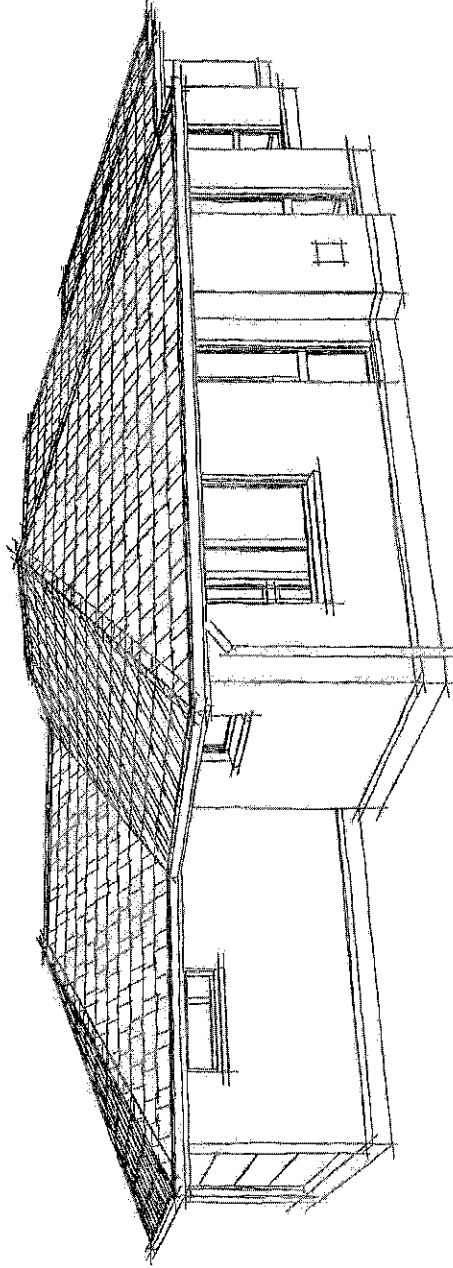
CONTENTS

Page 1: Contents & Design
 Page 2: Site Plan
 Page 3: Drainage Plan
 Page 4: Drainage Details
 Page 5: Elevations .1
 Page 6: Elevations .2
 Page 7: Floor plan
 Page 8: Foundation Plan
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 Page 10: Bracing plan
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 Page 19: Exterior Joinery Details .1
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 Page 21: Cladding details Enviro Panel .1
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 25/02/2014



Jeremy Moloney BP108395 - Design 2
 Logan Roberts BP 108355 - Design 2



Peak Construction Limited
 Phone: (03) 371 7440

GOLDSTAR HOMES

FRAMES BY: **ZOG**
 steel frames of the future today

PLAN NAME: **JEFFERSON**
 Altered
 © GOLDEN HOMES HOLDINGS LTD. 2013

NOTES:
 ZOG® frames & brusses
 - ZOG® frames & brusses are designed using ProCAD engineering & detailing software.
 - ZOG® framing is 40x100-75mm rollformed from AXXIS® steel provided by NZ Steel Ltd.
 - Drawings should be read in conjunction with the latest ZOG® Manual
 This job has been reviewed & a F&I provided by
 Claude Anthony Carter Cook CP Eng
 Chartered Prof Engineer No.240941
 Redco NZ Ltd
 470 Omuotoa Road
 Tauranga
 Ph 07 571 7070

Building Design Summary

Site data
 • Ground bearing: (refer AS2870)
 • Subsoil Class: (NZS1170, section B)
 • Nitro zone: (NZS3604, section 5)
 • E-quake zone: (NZS3604, figure 5.4)
 • Climate zone: (NZS4210, B1)
 • Exposure zone: (NZS3604, figure 4.2)
 • Rainfall zone: (NZS3604, figure 15-1)
 • Snowload:
 • Building area
 • Building cat.
 • Floor live loads: (NZS3604, table 1.1)
 • CLIENT:

S & J Frost
 Lot No. 19, DP 30563
 444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:
 Christchurch City Council

Living Zone 1
 SITE DATA: for zones upto & including REF 6/ECOTC
 Ground Bearing: E
 Sub-soil Classification: High
 Wind Zone: 2
 Earthquake Zone: C
 Exposure Zone: 3
 Climate Zone: 35mm/yr
 Rainfall Intensity: 1.0kPa (open ground)
 Snowload:
 DRAWING TITLE:

Contents & Design

JOB No:	90955	SALES:	Trevor
ZOG No:	Z2223	DRAWN:	005
PLAN DATE:	18/10/2013		
SCALE:		SHEET No.	1 OF 27

BUILDING COMPONENT, NOMINATED MEANS OF COMPLIANCE

- Foundation design by others : Foundation plan, Foundation details
 ZOG 0.75mm G350 Z275 steel framing, Framing details
 ZOG 0.75mm G350 Z275 steel brusses, Roof framing details
 E2/AS1: Roof flashings
 E2/AS1: Elevations & risk matrix, Exterior Joinery Details, Cladding Details
 NZS 3604:2011: Bracing plan, Bracing details
 NZBC- Clause H1, energy efficiency, 3rd edition: Insulation Calculations
 E3/AS1: Cross Sections
 E3/AS1: Wet Area Details
 E3/AS1: Wet Area Details
 Refer: Meter Heater Details
 AS/NZS500.2 Drain water supply
 G13/AS1: Drainage plan
 G13/AS2: Drainage plan
 G2/AS1: Floor plan
 G3/AS1: Floor plan
 FT/AS1: Electrical plan
 G7/AS1: Natural Lighting & Ventilation
 G4/AS1: Natural Lighting & Ventilation
 G11/AS1: Gas heater.
 D1/AS1: Floor plan
- Foundation
 Wall framing
 Roof framing
 Roofing
 Cladding
 Bracing
 Insulation
 Internal linings
 Bathrooms
 Showers
 Water Heating
 Water supply
 Sanitary Plumbing
 Drainage
 Laundry
 Kitchen
 Smoke alarms
 Natural light
 Ventilation
 Heating
 Access



FRAMES BY:



Official Frames of the Building Industry

PLAN NAME:

JEFFERSON

© GOLDEN HOMES HOLDINGS LTD. 2013

NOTES:

- Bracing Element Lines
- Holes or intrusions into the ZOG® frame bracing elements may require engineers approval design for remedial work.
- ZOG® must be contacted for an alternative solution prior to any intrusions and/or modifications being made to bracing elements.
- Sewer & stormwater connections are to be confirmed on site prior to commencement of foundations.
- The sewer and stormwater disposal design is the responsibility of the plumber. The designer takes no responsibility for any errors that may occur. Compliance with all applicable codes are required at all times.
- Drain taper to confirm downpipe locations prior to commencement of construction.
- **WASTE WASTES** - All vanity wastes to be put into wall frame to allow for wall hung vanities
- **SINK VOLUMES** must comply with NZBC:
 - Laundry tub - to have a capacity to spill-level of no less than 35 litres, and be capable of fully containing a solid cylinder of 400 mm diameter and 200 mm depth
 - Kitchen sink - The sink shall be capable of fully containing a solid cylinder of 300 mm diameter and 125 mm depth.

REFER TO DRAINAGE DETAILS ALSO
(Located on the following sheet)

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including
Ground Bearing: REF GEOTECH
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 50mm/yr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Drainage Plan

JOB No:

90955

SALES:

Trevor

ZOG No:

72229

DRAWN:

005

PLAN DATE:

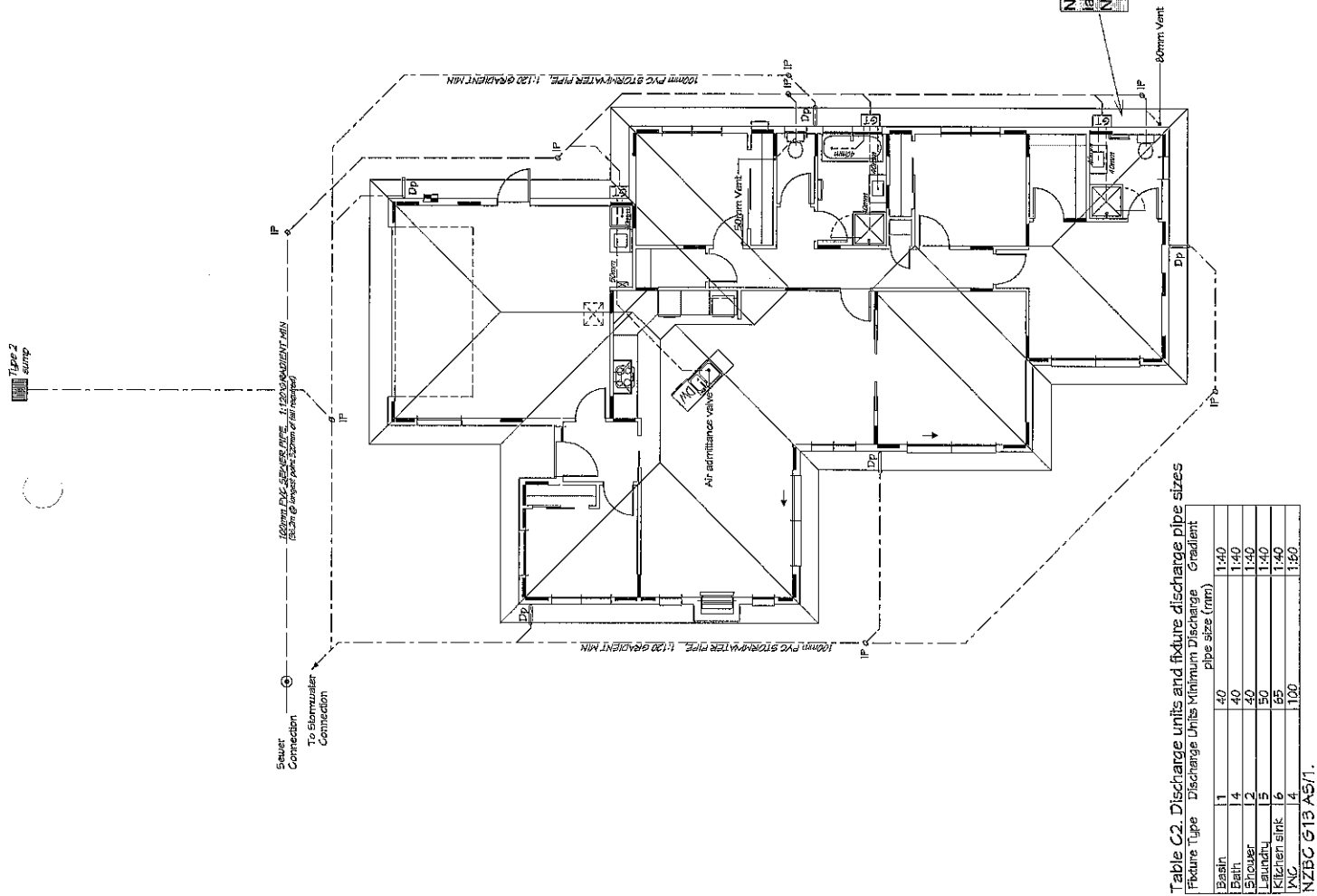
19/10/2013

SCALE:

1:100

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NOTE: 80mm vent should be inside last connection.
N McCook-Weir - CCC - 25/2/14

Table C2. Discharge units and fixture discharge pipe sizes

Fixture Type	Discharge Units	Minimum Discharge pipe size (mm)	Gradient
Basin	1	40	1:40
Bath	4	40	1:40
Shower	2	40	1:40
Laundry	3	50	1:40
Kitchen sink	16	55	1:40
WC	4	100	1:50

NZBC & 13 AS/1.

KEY

- 100mm PVC STORMWATER DRAIN
- 100mm PVC SOIL DRAIN
- WASTE PIPES
- TERMINAL VENT
- OTV INSPECTION POINT
- ORE RODDING EYE
- GT GULLY TRAP
- ODP DOWNPIPES
- ALL DRAINAGE TO NZBC Clause 613



FRAMES BY:

zog
special frames of fibreglass-reinforced polypropylene

PLAN NAME:

JEFFERSON
Altered

© GOLDEN HOMES HOLDINGS LTD. 2013

NOTES:

- All details in accordance with E1/A51
- Vanity wastes - All vanity wastes to be put into wall frame to allow for wall hung vanities
- Sinks volumes must comply with NZBC:
- Laundry tub - to have a capacity to spill-level of no less than 95 litres, and be capable of fully containing a solid cylinder of 400 mm diameter and 200 mm depth
- Kitchen sink - The sink shall be capable of fully containing a solid cylinder of 300 mm diameter and 125 mm depth.

REFER TO DRAINAGE PLAN ALSO
(Located on the previous sheet)

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CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including

- Ground Bearing: REF 6/20/TEC
- Sub-soil Classification: E
- Wind Zone: High
- Earthquake Zone: 2
- Exposure Zone: C
- Climate Zone: 3
- Rainfall Intensity: 50mm/hr
- Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Drainage Details

JOB NO:

90953

SALES:

Trevor

ZOG NO:

005

PLAN DATE:

18/10/2013

SCALE:

N.T.S

SHEET NO. 4 OF 21

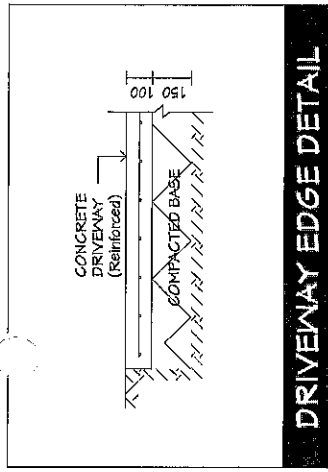
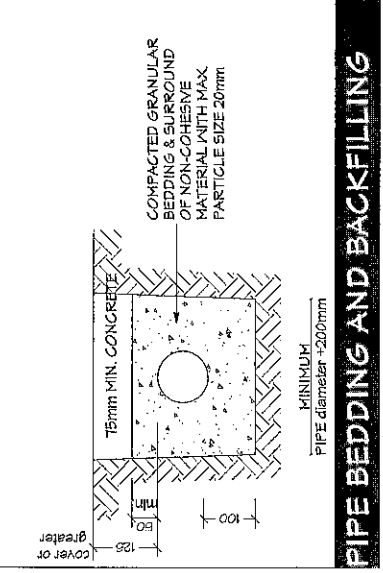
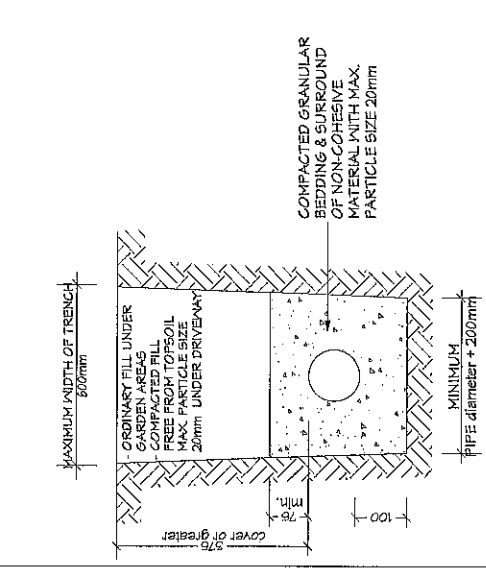
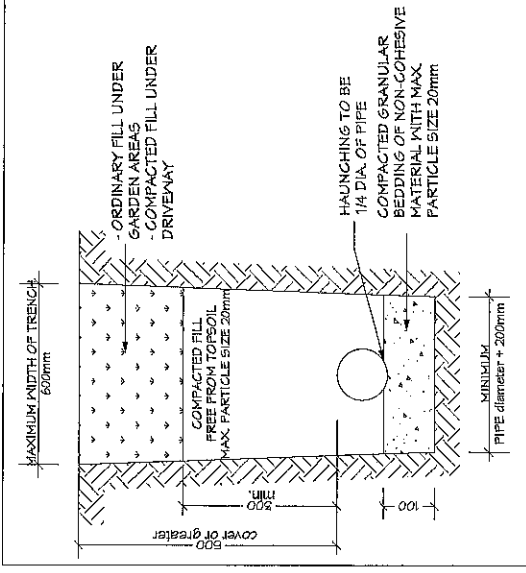
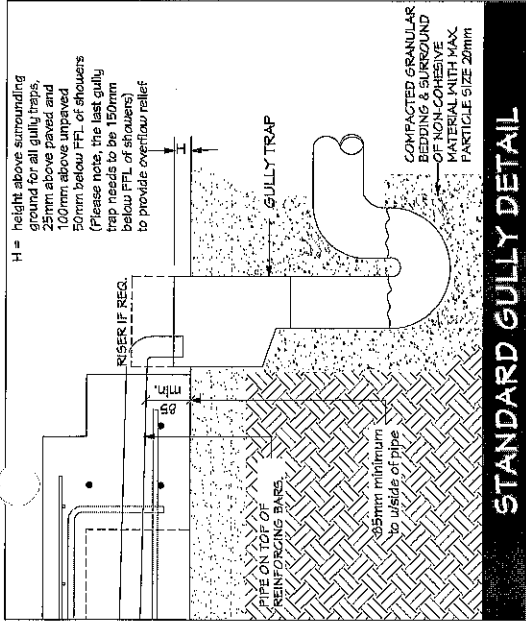
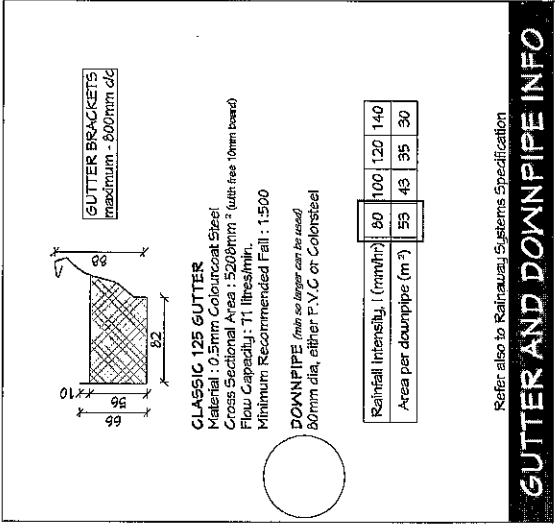
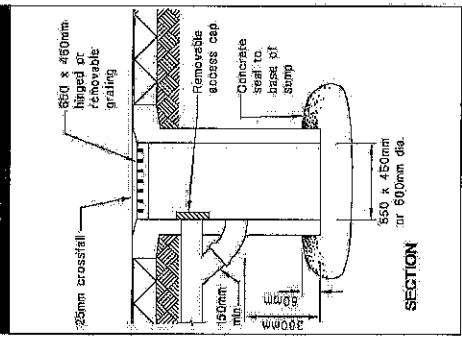


Figure 9: Two-Two Surface Water Sump Pursuance 3.6.2



V = Pipe trenches open less than 48 hours
SV = Pipe trenches open more than 48 hours (except rock)

TRENCH NEXT TO FOUNDATION



FRAMES BY:
Zog
etel. frame of the future today

PLAN NAME:
JEFFERSON
Altered
© GOLDEN HOMES HOLDINGS LTD. 2013

NOTES:
• All groundlines are indicative only and must be confirmed on site prior to commencement of any site works
• Finished floor levels in relation to height to boundary recession plane requirements are the responsibility of the floor layer. Any discrepancies between the plan and the actual site levels are the responsibility of the floor layer and must be reported to 'The Designer' immediately
• All claddings fixed as per manufacturers specifications

- EGL = Existing Ground Level
 - FFL = Finished Floor Level
 - FGL = Finished Ground Level
 - GL = Ground Level
 - FPL = Finished Platform Level
- Safety Glazing
• All glazing to be in accordance with the NZ Building Code Handbook and NZS4223, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
• All glazing panels to balconies and toilets to have safety glazing to the interior panel only
• All glazing to be confirmed by the manufacturer prior to construction

(56) Indicates safety glass

CLIENT:
S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH
Christchurch City Council

TERRITORIAL AUTHORITY:
Living Zone 1

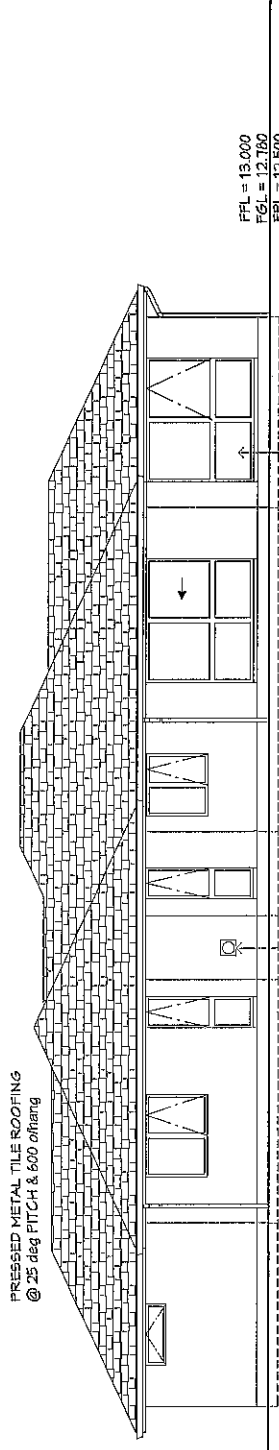
SITE DATA: for zones upto & including
Ground Bearing: REF GEOTECH
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 55mm/hr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:
Elevations. 1

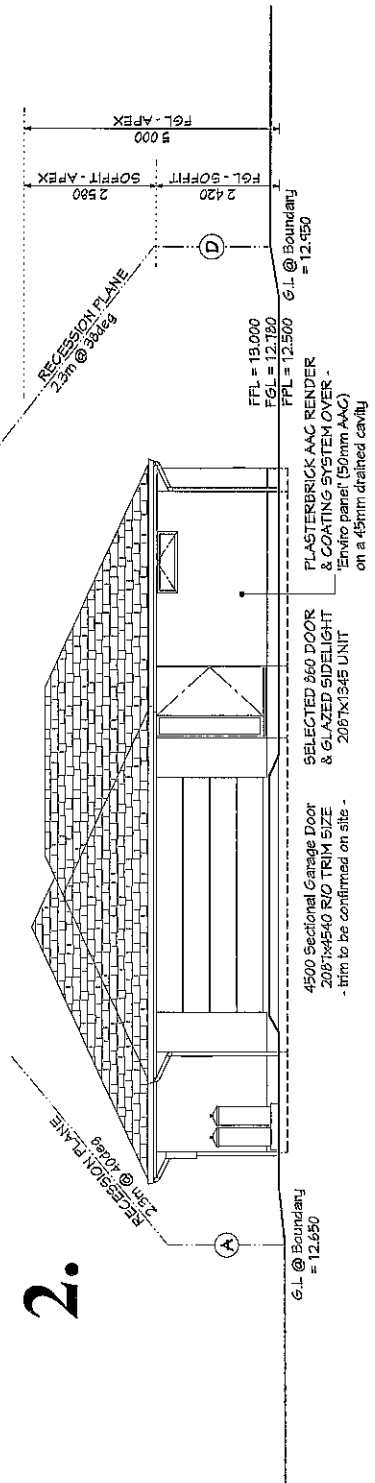
JOB NO: 90395 SALES: Trevor
ZOG NO: Z2229 DRAWN:
PLAN DATE: 18/10/2013
SCALE: 1:100 SHEET NO. 5 OF 21

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1.



2.



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of these units.

Table 2 Building envelope risk matrix Paragraph 3.1.2, Figure 1

All Walls Risk factor	Risk Severity				Total Risk Score = 7
	Low	Med	High	Very High	
Wind zone (per NZS 3604)	0	0	1	2	1
Number of storeys	0	1	2	4	0
Roofwall intersection design	0	1	3	5	1
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	0
Deck Design	0	2	4	6	0



FRAMES BY:



Altered
© GOLDEN HOMES HOLDINGS LTD. 2013

PLAN NAME: **JEFFERSON**

NOTES:

- All groundlines are indicative only and must be confirmed on site prior to commencement of any site works
 - Finished floor levels in relation to height to boundary recession plane requirements are the responsibility of the floor layer. Any discrepancies between the plan and the actual site levels are the responsibility of the floor layer and must be reported to 'The designer' immediately.
 - All claddings fixed as per manufacturers specifications
 - EGL = Existing Ground Level
 - FFL = Finished Floor Level
 - FGL = Finished Ground Level
 - GL = Ground Level
 - FPL = Finished Platform Level
- Safety Glazing**
- All glazing is to be in accordance with the NZ Building Code Handbook and NZS 4229, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
 - All glazing panels to bathrooms and toilets to have safety glazing to the interior panel only
 - All glazing to be confirmed by the manufacturer prior to construction

(SG) Indicates safety glass

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including

- Ground Bearing: REF GEOTECH
- Sub-soil Classification: E
- Wind Zone: High
- Earthquake Zone: 2
- Exposure Zone: C
- Climate Zone: 3
- Rainfall Intensity: 55mm/yr
- Shoaload: 1.0kPa (open ground)

DRAWING TITLE:

Elevations .2

JOB No:

40355

SALES:

Trevor

ZOG No:

Z2225

DRAWN:

005

PLAN DATE:

18/10/2013

SCALE:

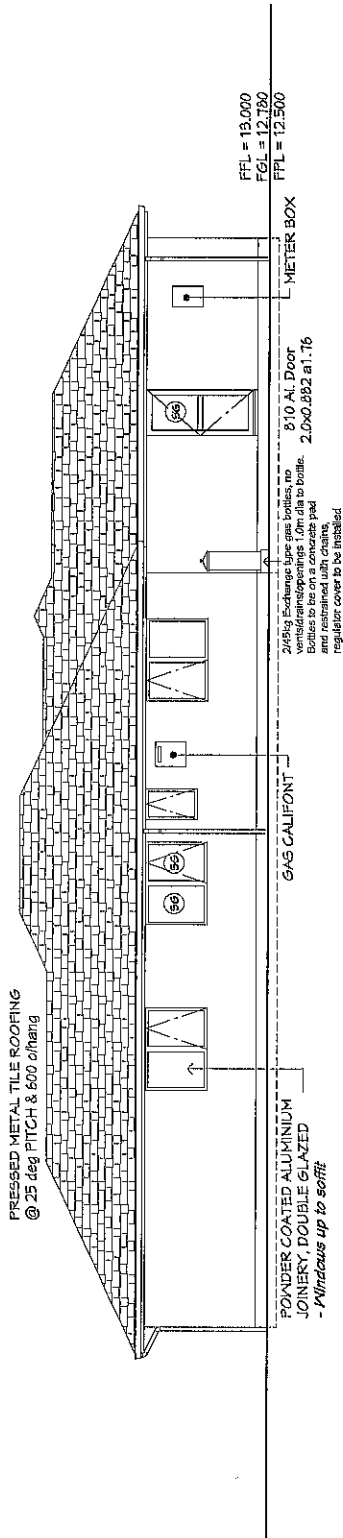
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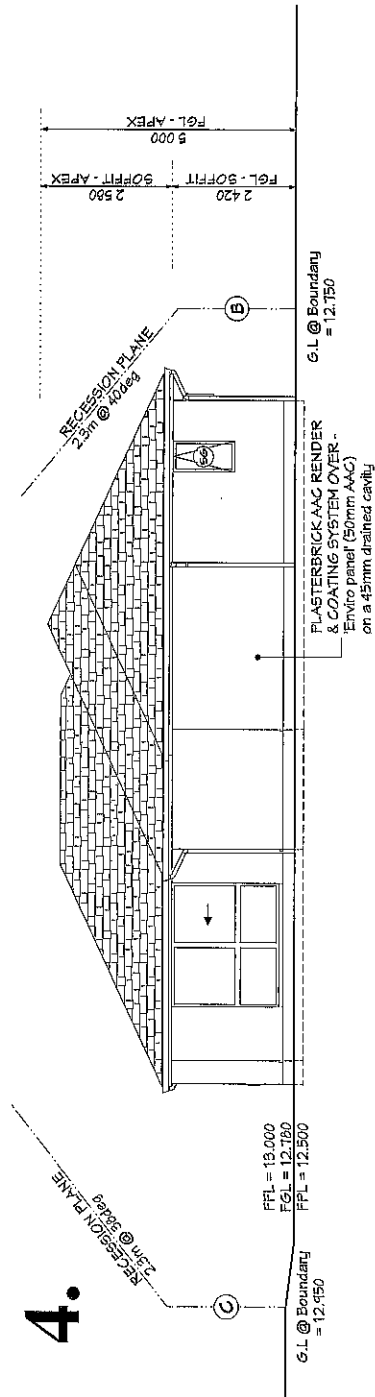
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3.



4.



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of those units.

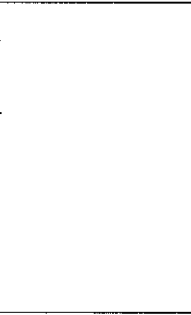
All Walls Risk factor	Building envelope risk matrix Paragraph 3.1.2, Figure 1				Subtotals for each risk factor
	Low	Med	High	Very High	
Wind zone (per NZS 3604)	0	0	1	2	1
Number of stories	0	1	2	4	0
Roof/wall intersection design	0	1	3	5	1
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	0
Deck Design	0	2	4	6	0
Total Risk Score =					7



FRAMES BY: **ZOG**
cheat Avenue of the future today

PLAN NAME: **JEFFERSON**
Altered
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NOTES:
Refer engineers P51 for certification
• R/hood & Extractors vented to soffit on wall
• Pre-Fab roof access, trim 635x635mm
• Moler box width 500mm max
• Kitchen bench finish options: Stainless steel or a decorative high pressure laminate
• Basins/Vanities and benches are to be sealed to the adjacent walls to prevent fungal growth.
• Wet wall sheet linings finished with vinyl coated wall paper, semi-gloss or gloss coating and comply with NZ Building code clause E5-3.1.2
• Wet area floor finishes to be impervious and comply with NZ Building code clause E5-3.1.1 & D1 AS/VM1
• Internal and external walling surfaces to comply with NZBC D/HAST 2.1.1 - 2.1.5, and Table 2



FLOOR COVERINGS:
1 = VINYL AREAS
2 = TILED AREAS
3 = GARAGE FLOOR - Plain concrete

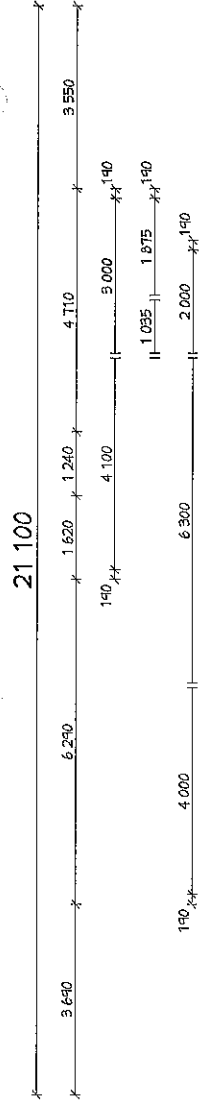
CLIENT: **S & J Frost**
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:
Christchurch City Council
Living Zone 1

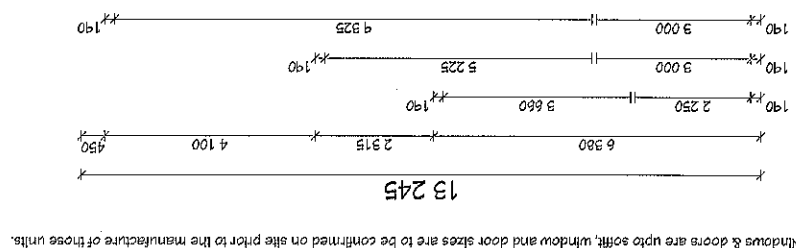
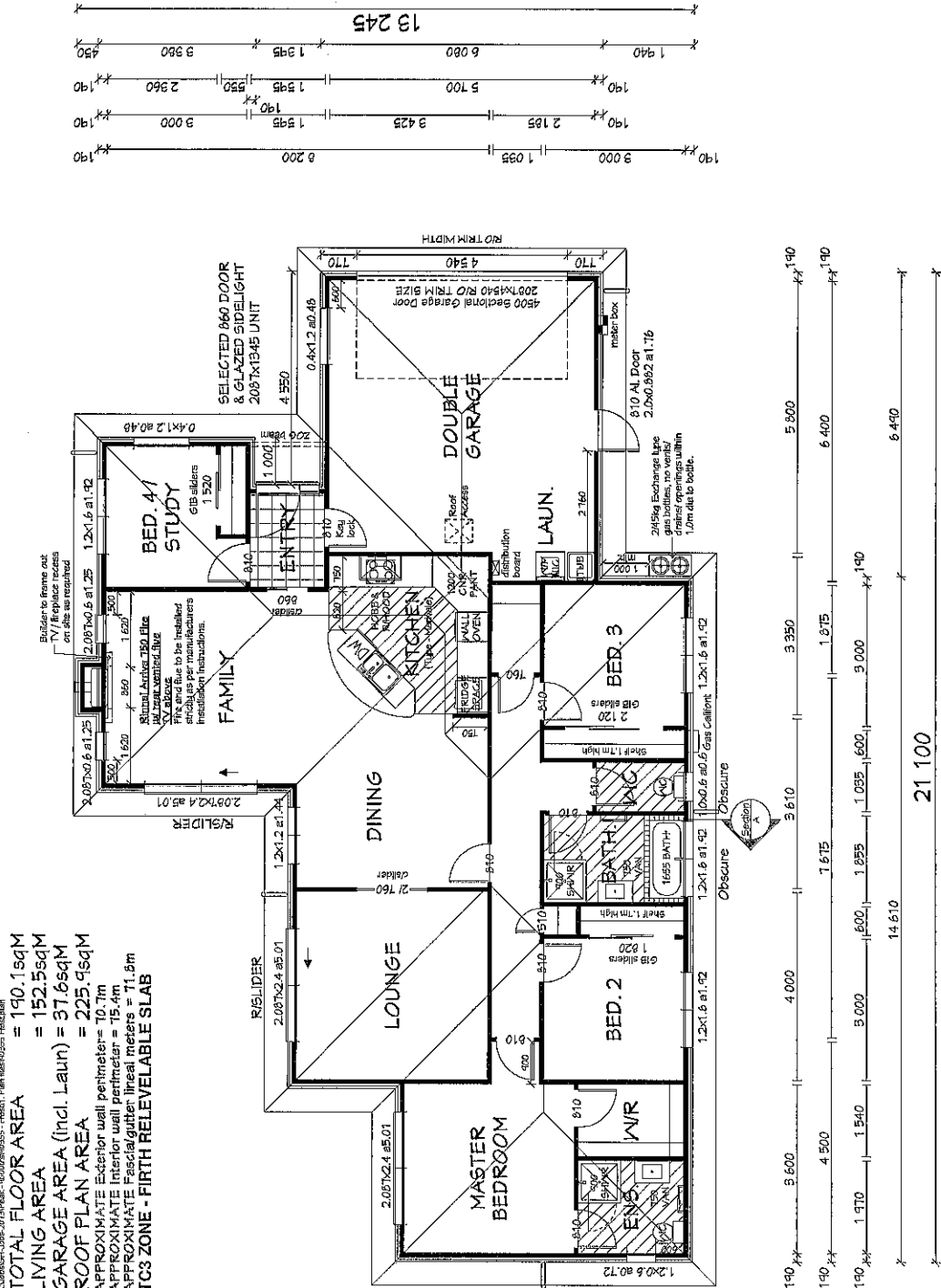
SITE DATA: for zones upto & including REF 6/EO/TEC
Ground Bearing: E
Sub-soil Classification: High
Wind Zone: 2
Earthquake Zone: C
Exposure Zone: 3
Climate Zone: 55mm/hr
Rainfall Intensity: 1.0kPa (open ground)
Snowload:

JOB NO: 40955 SALES: Trevor
ZOG No: Z2223 DRAWN: 005
PLAN DATE: 18/10/2013
SCALE: 1:100 SHEET No. 1 OF 21

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N McCook-Weir
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LANDUSE: Job-2013/Pak...-1000249355 - Projct: Plan 65493257 Production
TOTAL FLOOR AREA = 190.15sqM
LIVING AREA = 152.55sqM
GARAGE AREA (incl. Laun) = 37.6sqM
ROOF PLAN AREA = 225.95sqM
APPROXIMATE Exterior wall perimeter = 10.7m
APPROXIMATE Interior wall perimeter = 15.4m
APPROXIMATE Fascia/gutter lineal meters = 71.9m
TC3 ZONE - FIRTH RELEVABLE SLAB



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of those units.

Window Code Legend
EG: 1.2x1.5 at 1.92
= size 1.200x1.600
at 1.92 = window area = 1.92m2
Refer to elevations for safety glazing

Peak Construction Limited
Phone: (03) 911 7940

GOLDSTAR HOMES

Zog
steel frames of the future today

FRAMES BY:
JEFFERSON
© GOLDEN HOMES HOLDINGS LTD, 2013

PLAN NAME: **Jefferson**
Living Zone 1

NOTES:
Construction
Roof: Structure: ZOG steel frame trusses
Nom. 120mm c/c
Overhang: Refer to floor plan
Cusings: Refer elevations
Underlay: Fine retardant underlay
Battens: Metal @ 310mm c/c
Fascia system: Refer elevations
Soffit: 4.5mm Hardiflex® lining
Ceiling: ZOG ceiling battens @ 450/c max
Lining: Plasterboard
Windows: ZOG steel frames
Nom. 600mm c/c (unless noted)
Slud height: Refer to cross section
Int. lining: Plasterboard horizontal
Thermal break: 10mm XPS polystyrene
Building wrap: Flashwrap
Windows: Aluminium double glazed
Frames: Refer floor plan
Fixings: Refer floor plan
*All fixings to be as per the latest ZOG steel frame manual and comply with Section 4, Durability, NZS-3604:2011
*Any treated timber in contact with the ZOG steel frame must be LOSP treated ONLY to avoid corrosion. (Never CCA)

CLIENT:
S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH
Christchurch City Council

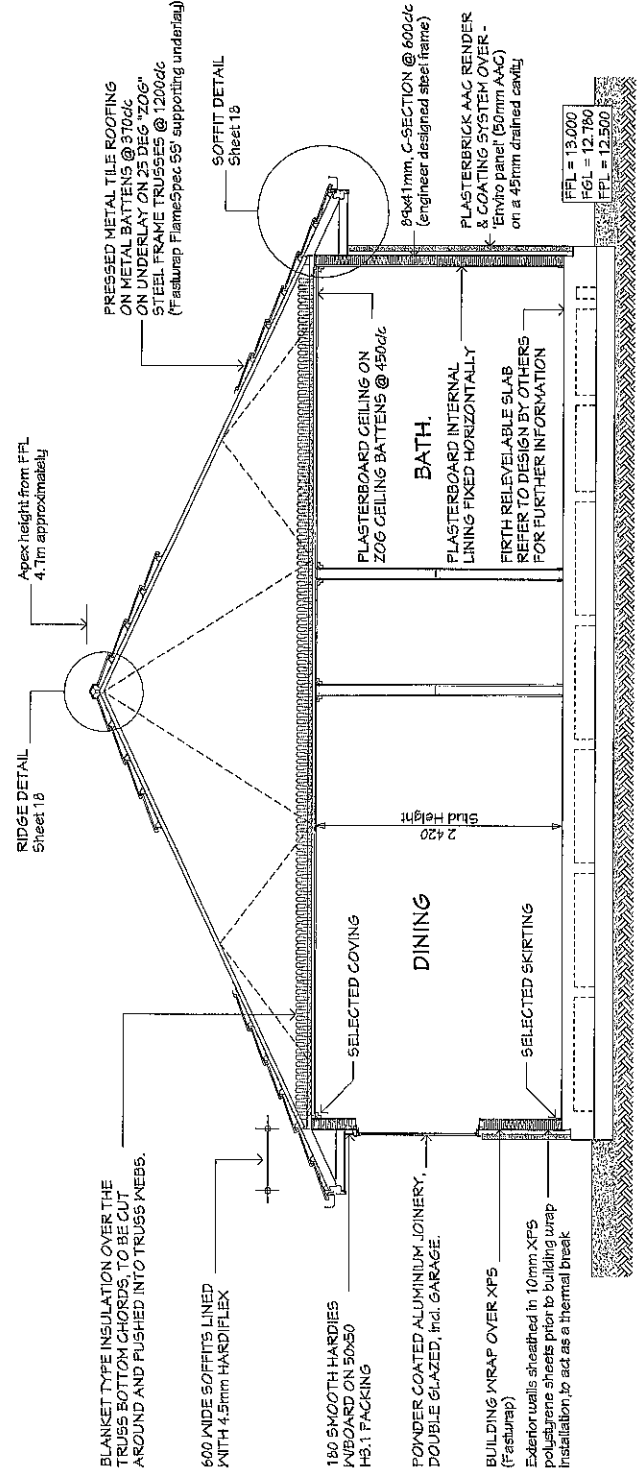
INSULATION
External Walls = R-2.2 batts
Internal Garage Walls = R-2.2 batts
Ceiling = R-3.6 batts

SITE DATA: for zones upto & including
Ground Bearing: REF GEOTEC
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 55mm/yr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:
Cross Section

JOB No:	90395	SALES:	Trevel
ZOG No:	22229	DRAWN:	005
PLAN DATE:	19/10/2013		
SCALE:	1:50	SHEET No.	9 OF 27

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Fixings:
10-16/16 Hex head screws are used to hold the building wrap & metalhold in place.
10mm XPS sheets to be fixed to steel frame with Pascode ND33 power driven nails through 0.75mm x 25mm square galvanised washers.

**REFER TO ATTACHED FIRTH
RELEVEABLE SLAB DESIGN
(BY OTHERS)**



FRAMES BY: **ZOG**
Specialist Frames of the Northern Territory

PLAN NAME: **JEFFERSON**
© GOLDEN HOMES HOLDINGS LTD. 2013

NOTES:
Bracing Element (A1.0.5 ZK) Label & Length Type

Bracing Element Lines
• Holes or intrusions into the ZOG® frame bracing elements may require engineers specific design for remedial work.
• ZOG® must be contacted for an alternative solution prior to any intrusions and/or modifications being made to bracing elements.

BRACING PLAN
• All bracing in accordance with the ZOG® manual & Windstones test results specific to ZOG® frames & trusses.
• Bracing grids to be maximum of 6.0m
• If a wall intersects a ZOG® frame brace, then a ZOG® Type A 45x45x0.75mm angle is required to allow fixing of gib sheets in corners

• Bracing plan to be read in conjunction with bracing details located on the following sheet: **BRACING SOFTWAIRE**
Bracing for Golden Homes is calculated using the latest version of "ZOGBrace". This programme is developed in accordance with NZS3604:2011.
Contact details:
Email: tauranga@zog.co.nz

The bracing has been reviewed & a P51 provided by:
Claude Antony Carter Cook CPEng
Chartered Prof Engineer No. 240891
Rescdo NZ Ltd
410 Ohimotua Road
Tauranga
Ph 07 571 7070

CLIENT:
S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
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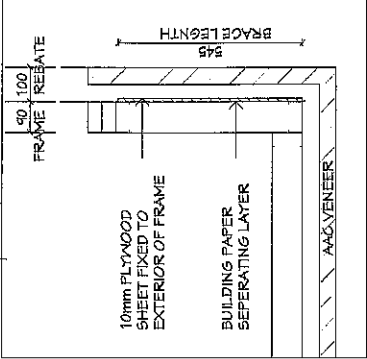
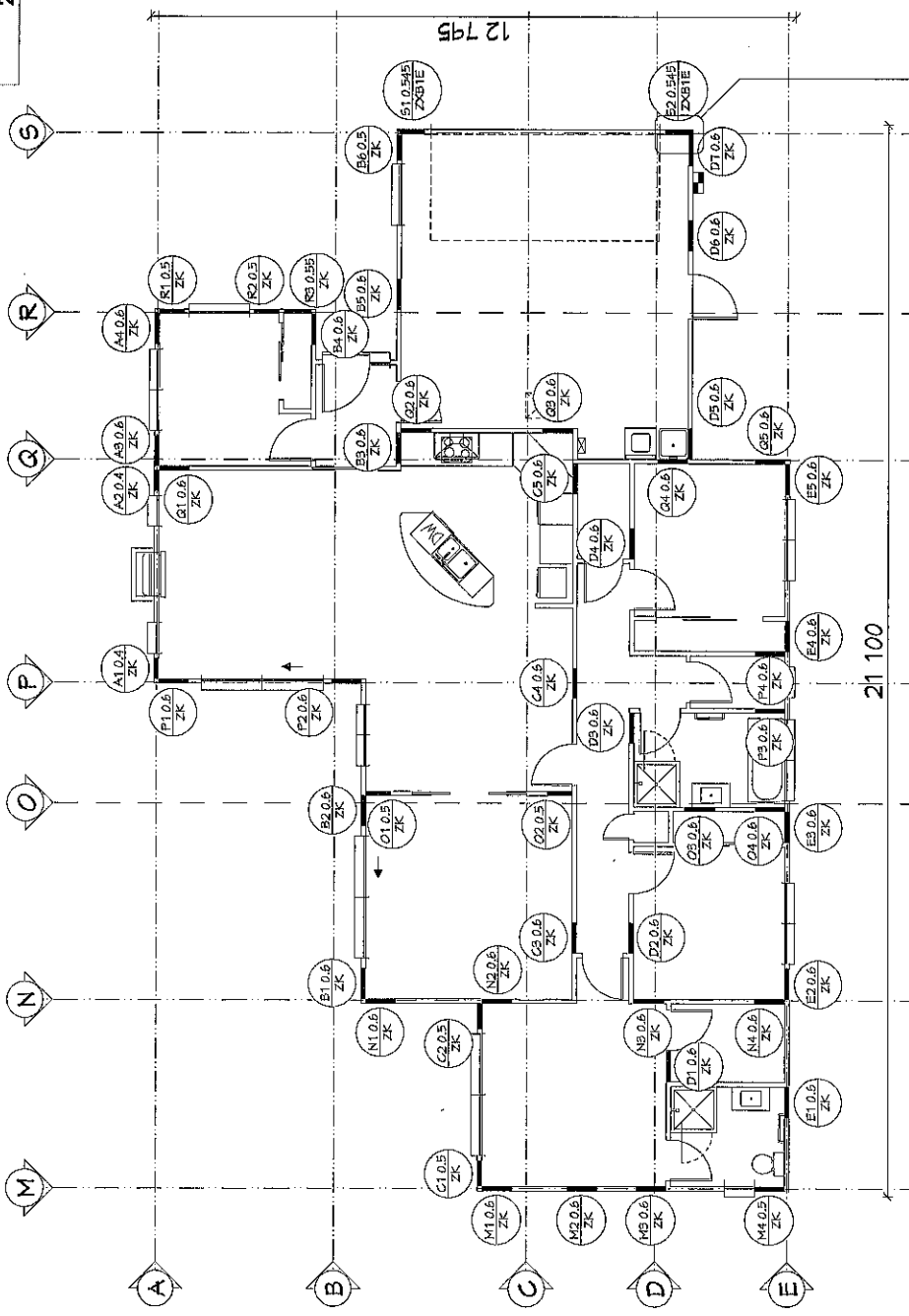
TERRITORIAL AUTHORITY:
Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including
Ground Bearing: REF 6/EOTEK
Sub-soil Classification: E High
Wind Zone: 2
Earthquake Zone: C
Exposure Zone: 3
Climate Zone: 5
Rainfall Intensity: 55mm/hr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:
Bracing plan

JOB NO: 40355 SALES: Trevor
ZOG No: Z2223 DRAWN: 005
PLAN DATE: 18/10/2013
SCALE: 1:100 SHEET No. 10 OF 27

Christchurch City Council
Approved Consent Plan
BCN/2013/11444
N McCook-Weir
Page 14 of 35
25/02/2014



NOTE: Bracing plan must be supplied to DRAINLAYER, PLUMBER, ELECTRICIAN, and FLOOR LAYER



Customer Services
P. 03 353 9007 or 0800 324 636

PO Box 345
Christchurch 8140

P. 03 365 3828
F. 03 365 3194
E. ecinfo@ecan.govt.nz

www.ecan.govt.nz

Dear Sir/Madam

Thank you for submitting your property enquiry from our Listed Land Use Register (LLUR). The LLUR holds information about sites that have been used or are currently used for activities which have the potential to cause contamination.

The LLUR statement shows the land parcel(s) you enquired about and provides information regarding any potential LLUR sites within a specified radius.

Please note that if a property is not currently registered on the LLUR, it does not mean that an activity with the potential to cause contamination has never occurred, or is not currently occurring there. The LLUR database is not complete, and new sites are regularly being added as we receive information and conduct our own investigations into current and historic land uses.

The LLUR only contains information held by Environment Canterbury in relation to contaminated or potentially contaminated land; additional relevant information may be held in other files (for example consent and enforcement files).

Please contact Environment Canterbury if you wish to discuss the contents of this property statement.

Yours sincerely

Contaminated Sites Team

Property Statement from the Listed Land Use Register

Visit ecan.govt.nz/HAIL for more information or
contact Customer Services at ecan.govt.nz/contact/ and quote ENQ448709

Date generated: 23 February 2026
Land parcels: Lot 19 DP 30563



The information presented in this map is specific to the property you have selected. Information on nearby properties may not be shown on this map, even if the property is visible.

Sites at a glance

Sites within enquiry area (Pink outline)

There are no sites associated with the area of enquiry.

More detail about the sites

There are no sites associated with the area of enquiry.

Disclaimer

The enclosed information is derived from Environment Canterbury's Listed Land Use Register and is made available to you under the Local Government Official Information and Meetings Act 1987.

The information contained in this report reflects the current records held by Environment Canterbury regarding the activities undertaken on the site, its possible contamination and based on that information, the categorisation of the site. Environment Canterbury has not verified the

accuracy or completeness of this information. It is released only as a copy of Environment Canterbury's records and is not intended to provide a full, complete or totally accurate assessment of the site. It is provided on the basis that Environment Canterbury makes no warranty or representation regarding the reliability, accuracy or completeness of the information provided or the level of contamination (if any) at the relevant site or that the site is suitable or otherwise for any particular purpose. Environment Canterbury accepts no responsibility for any loss, cost, damage or expense any person may incur as a result of the use, reference to or reliance on the information contained in this report.

Any person receiving and using this information is bound by the provisions of the Privacy Act 1993.

Listed Land Use Register

What you need to know



What is the Listed Land Use Register (LLUR)?

The LLUR is a database that Environment Canterbury uses to manage information about land that is, or has been, associated with the use, storage or disposal of hazardous substances.

Why do we need the LLUR?

Some activities and industries are hazardous and can potentially contaminate land or water. We need the LLUR to help us manage information about land which could pose a risk to your health and the environment because of its current or former land use.

Section 30 of the Resource Management Act (RMA, 1991) requires Environment Canterbury to investigate, identify and monitor contaminated land. To do this we follow national guidelines and use the LLUR to help us manage the information.

The information we collect also helps your local district or city council to fulfil its functions under the RMA. One of these is implementing the National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil, which came into effect on 1 January 2012.

For information on the NES, contact your city or district council.

How does Environment Canterbury identify sites to be included on the LLUR?

We identify sites to be included on the LLUR based on a list of land uses produced by the Ministry for the Environment (MfE). This is called the Hazardous Activities and Industries List (HAIL)¹. The HAIL has 53 different activities, and includes land uses such as fuel storage sites, orchards, timber treatment yards, landfills, sheep dips and any other activities where hazardous substances could cause land and water contamination.

We have two main ways of identifying HAIL sites:

- We are actively identifying sites in each district using historic records and aerial photographs. This project started in 2008 and is ongoing.
- We also receive information from other sources, such as environmental site investigation reports submitted to us as a requirement of the Regional Plan, and in resource consent applications.

¹The Hazardous Activities and Industries List (HAIL) can be downloaded from MfE's website www.mfe.govt.nz, keyword search HAIL

How does Environment Canterbury classify sites on the LLUR?

Where we have identified a HAIL land use, we review all the available information, which may include investigation reports if we have them. We then assign the site a category on the LLUR. The category is intended to best describe what we know about the land use and potential contamination at the site and is signed off by a senior staff member.

Please refer to the Site Categories and Definitions factsheet for further information.

What does Environment Canterbury do with the information on the LLUR?

The LLUR is available online at www.llur.ecan.govt.nz. We mainly receive enquiries from potential property buyers and environmental consultants or engineers working on sites. An inquirer would typically receive a summary of any information we hold, including the category assigned to the site and a list of any investigation reports.

We may also use the information to prioritise sites for further investigation, remediation and management, to aid with planning, and to help assess resource consent applications. These are some of our other responsibilities under the RMA.

If you are conducting an environmental investigation or removing an underground storage tank at your property, you will need to comply with the rules in the Regional Plan and send us a copy of the report. This means we can keep our records accurate and up-to-date, and we can assign your property an appropriate category on the LLUR. To find out more, visit www.ecan.govt.nz/HAIL.



My land is on the LLUR – what should I do now?

IMPORTANT! Just because your property has a land use that is deemed hazardous or is on the LLUR, it doesn't necessarily mean it's contaminated. The only way to know if land is contaminated is by carrying out a detailed site investigation, which involves collecting and testing soil samples.

You do not need to do anything if your land is on the LLUR and you have no plans to alter it in any way. It is important that you let a tenant or buyer know your land is on the Listed Land Use Register if you intend to rent or sell your property. If you are not sure what you need to tell the other party, you should seek legal advice.

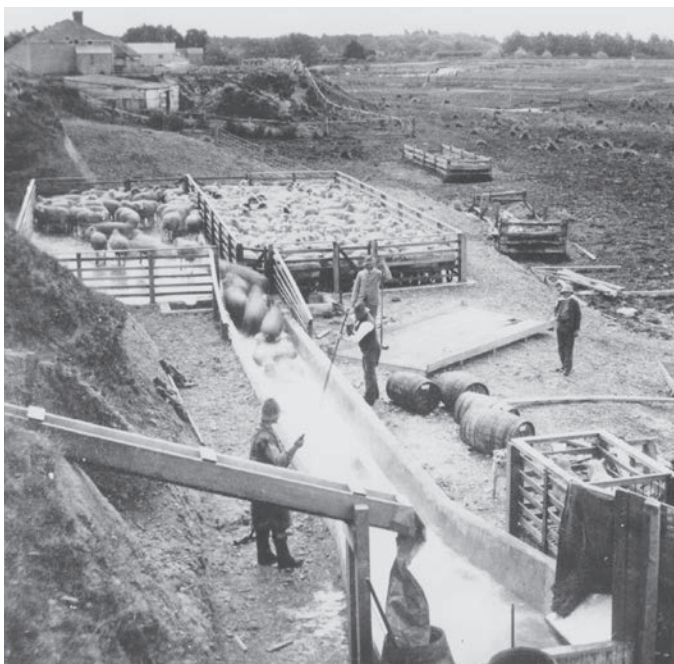
You may choose to have your property further investigated for your own peace of mind, or because you want to do one of the activities covered by the National Environmental Standard for Assessing and Managing Contaminants in Soil. Your district or city council will provide further information.

If you wish to engage a suitably qualified experienced practitioner to undertake a detailed site investigation, there are criteria for choosing a practitioner on www.ecan.govt.nz/HAIL.



IMPORTANT!

The LLUR is an online database which we are continually updating. A property may not currently be registered on the LLUR, but this does not necessarily mean that it hasn't had a HAIL use in the past.



Sheep dipping (ABOVE) and gas works (TOP) are among the former land uses that have been identified as potentially hazardous. (Photo above by Wheeler & Son in 1987, courtesy of Canterbury Museum.)

I think my site category is incorrect – how can I change it?

If you have an environmental investigation undertaken at your site, you must send us the report and we will review the LLUR category based on the information you provide. Similarly, if you have information that clearly shows your site has not been associated with HAIL activities (eg. a preliminary site investigation), or if other HAIL activities have occurred which we have not listed, we need to know about it so that our records are accurate.

If we have incorrectly identified that a HAIL activity has occurred at a site, it will be not be removed from the LLUR but categorised as Verified Non-HAIL. This helps us to ensure that the same site is not re-identified in the future.

Contact us

Property owners have the right to look at all the information Environment Canterbury holds about their properties.

It is free to check the information on the LLUR, online at www.llur.ecan.govt.nz.

If you don't have access to the internet, you can enquire about a specific site by phoning us on (03) 353 9007 or toll free on 0800 EC INFO (32 4636) during business hours.

Contact Environment Canterbury:

Email: ecinfo@ecan.govt.nz

Phone:

Calling from Christchurch: (03) 353 9007

Calling from any other area: 0800 EC INFO (32 4636)

Listed Land Use Register

Site categories and definitions

When Environment Canterbury identifies a Hazardous Activities and Industries List (HAIL) land use, we review the available information and assign the site a category on the Listed Land Use Register. The category is intended to best describe what we know about the land use.

If a site is categorised as **Unverified** it means it has been reported or identified as one that appears on the HAIL, but the land use has not been confirmed with the property owner.

If the land use has been confirmed but analytical information from the collection of samples is not available, and the presence or absence of contamination has therefore not been determined, the site is registered as:

Not investigated:

- A site whose past or present use has been reported and verified as one that appears on the HAIL.
- The site has not been investigated, which might typically include sampling and analysis of site soil, water and/or ambient air, and assessment of the associated analytical data.
- There is insufficient information to characterise any risks to human health or the environment from those activities undertaken on the site. Contamination may have occurred, but should not be assumed to have occurred.

If analytical information from the collection of samples is available, the site can be registered in one of six ways:

At or below background concentrations:

The site has been investigated or remediated. The investigation or post remediation validation results confirm there are no hazardous substances above local background concentrations other than those that occur naturally in the area. The investigation or validation sampling has been sufficiently detailed to characterise the site.

Below guideline values for:

The site has been investigated. Results show that there are hazardous substances present at the site but indicate that any adverse effects or risks to people and/or the environment are considered to be so low as to be acceptable. The site may have been remediated to reduce contamination to this level, and samples taken after remediation confirm this.

Managed for:

The site has been investigated. Results show that there are hazardous substances present at the site in concentrations that have the potential to cause adverse effects or risks to people and/or the environment. However, those risks are considered managed because:

- the nature of the use of the site prevents human and/or ecological exposure to the risks; and/or
- the land has been altered in some way and/or restrictions have been placed on the way it is used which prevent human and/or ecological exposure to the risks.

Partially investigated:

The site has been partially investigated. Results:

- demonstrate there are hazardous substances present at the site; however, there is insufficient information to quantify any adverse effects or risks to people or the environment; or
- do not adequately verify the presence or absence of contamination associated with all HAIL activities that are and/or have been undertaken on the site.

Significant adverse environmental effects:

The site has been investigated. Results show that sediment, groundwater or surface water contains hazardous substances that:

- have significant adverse effects on the environment; or
- are reasonably likely to have significant adverse effects on the environment.

Contaminated:

The site has been investigated. Results show that the land has a hazardous substance in or on it that:

- has significant adverse effects on human health and/or the environment; and/or
- is reasonably likely to have significant adverse effects on human health and/or the environment.

If a site has been included incorrectly on the Listed Land Use Register as having a HAIL, it will not be removed but will be registered as:

Verified non-HAIL:

Information shows that this site has never been associated with any of the specific activities or industries on the HAIL.

Please contact Environment Canterbury for further information:

(03) 353 9007 or toll free
on 0800 EC INFO (32 4636)
email ecinfo@ecan.govt.nz

Buying or selling your property?

REA
REAL ESTATE AUTHORITY
TE MANA PAPAWHENUA

New Zealand Residential Property
Sale and Purchase Agreement Guide





This guide tells you...

what a sale and purchase agreement is

what's in a sale and purchase agreement

what happens after you sign the sale and purchase agreement

what happens if you have a problem

where to go for more information

Where to go for more information

This guide is available in other languages. You can find translated copies of this guide on [rea.govt.nz](https://www.rea.govt.nz) and [settled.govt.nz](https://www.settled.govt.nz).

The New Zealand Residential Property Agency Agreement Guide is also available on [settled.govt.nz](https://www.settled.govt.nz). The guide tells you more about the agreement you sign with the agency helping to sell your property.

We welcome any feedback you have on this publication.

The information in this guide was accurate when published. However, the requirements this information is based on can change at any time. Up-to-date information is available at [rea.govt.nz](https://www.rea.govt.nz).

Key things to know about sale and purchase agreements

- A sale and purchase agreement is a legally binding contract between you and the other party involved in buying or selling a property.
- You must sign a written sale and purchase agreement to buy or sell a property.
- You need to read and understand the sale and purchase agreement before you sign it.
- Even if a standard sale and purchase agreement is being used, you should always get legal advice before you sign the agreement and throughout the buying and selling process.
- You can negotiate some of the terms and conditions in a sale and purchase agreement.
- You can include additional clauses, such as what to do if there are special circumstances. Your lawyer plays an important role in providing advice on what the sale and purchase agreement should say.
- A sale and purchase agreement becomes unconditional once all the conditions are met.
- In most cases, the real estate professional is working for the seller of the property, but they must treat the buyer fairly.
- If your real estate professional or anyone related to them wants to buy your property, they must get your written consent to do this. They must also give you a valuation of your property by an independent registered valuer.
- The sale and purchase agreement is only available in English. You may need assistance interpreting it if English is not your primary language.

What a sale and purchase agreement is

A sale and purchase agreement is a legally binding contract between you and the other party involved in buying or selling a property. It sets out all the details, terms and conditions of the sale. This includes things such as the price, any chattels being sold with the property, whether the buyer

needs to sell another property first or needs a property inspection and the settlement date.

A sale and purchase agreement provides certainty to both the buyer and the seller about what will happen when.



What's in a sale and purchase agreement

Your sale and purchase agreement should include the following things.

Basic details of the sale

Different sale methods like tender or auction might mean the sale and purchase agreement can look different, but all sale and purchase agreements should contain:

- the names of the people buying and selling the property
- the address of the property
- the type of title, for example, freehold or leasehold
- the price
- any deposit the buyer must pay
- any chattels being sold with the property, for example, whiteware or curtains
- any specific conditions you or the other party want fulfilled
- how many working days you have to fulfil your conditions (if there are any conditions)
- the settlement date (the date the buyer pays the rest of the amount for the property, which is usually also the day they can move in)
- the rate of interest the buyer must pay on any overdue payments (such as being late on paying the deposit or the remaining amount at the settlement date).

General obligations and conditions you have to comply with

The sale and purchase agreement includes general obligations and conditions that you will need to comply with. For example, these may include:

- access rights – what access the buyer can have to inspect the property before settlement day
- insurance – to make sure the property remains insured until the settlement date and outline what will happen if any damage occurs before settlement day
- default by the buyer – the buyer may have to compensate the seller if they don't settle on time, for example, with interest payments
- default by the seller – the seller may have to compensate the buyer if they don't settle on time, for example, by paying accommodation costs
- eligibility to buy property in New Zealand – people who have migrated to New Zealand may not be permitted to immediately buy property or may need to get consent from the Overseas Investment Office.

Your lawyer will explain these clauses to you.

Check...

Always check your sale and purchase agreement with a lawyer before signing.

Buying or selling a property where the owner isn't able to participate, like a mortgagee sale or deceased estate, can mean the real estate professional has limited information about the property. It pays to allow for this when deciding what conditions the buyer and seller might need.

Remember...

Before you sign a sale and purchase agreement, whether you're the buyer or the seller, the real estate professional must give you a copy of this guide. They must also ask you to confirm in writing that you've received it.

Specific conditions a buyer may include

Some buyers will present an unconditional offer, which means there are no specific conditions to be fulfilled. Some buyers will include one or more conditions (that must be fulfilled by a specified date) in their offer such as:

- title search – this is done by the buyer's lawyer to check who the legal owner of the property is and to see if there are any other interests over the property such as caveats or easements
- finance – this refers to the buyer arranging payment, often requiring bank approval for a mortgage or loan
- valuation report – a bank may require the buyer to obtain a valuation of the property (an estimate of the property's worth on the current market) before they agree to a loan
- Land Information Memorandum (LIM) – provided by the local council, this report provides information about the property such as rates, building permits and consents, drainage, planning and other important information
- property inspection – a buyer paying for an inspection provides an independent overview of the condition of the property rather than relying on an inspection that has been arranged by the seller

- engineer's or surveyor's report – similar to the above but more focused on the entire section and the structure of the property
- sale of another home – the buyer may need to sell their own home in order to buy another.

The real estate professional helps the buyer and the seller to include the conditions they each want. Even though the real estate professional works for the seller, they also have to deal fairly and honestly with the buyer. While they're not expected to discover hidden defects, they can't withhold information and must tell the buyer about any known defects with the property. If a buyer needs time to check a property for defects, including a property inspection condition may be important.



What happens after you sign the sale and purchase agreement

Signing the sale and purchase agreement is not the end of the sale or purchase process.

Both parties work through the conditions until the agreement is unconditional

A conditional agreement means the sale and purchase agreement has one or more conditions that must be met by a specified date and before the sale goes through.

The buyer pays the deposit. Depending on what the sale and purchase agreement says, the buyer may pay the deposit when they sign the agreement or when the agreement becomes unconditional. If the deposit is made to the real estate agency, it must be held in their agency's trust account for 10 working days before it can be released to the seller.

An agreement for sale and purchase commits you to buy or sell

Once you've signed the sale and purchase agreement and any conditions set out in it have been met, you must complete the sale or purchase of the property.

The length of time between the conditions being met and the settlement date varies. Settlement periods can be lengthy if the property hasn't been built yet or the sale and purchase agreement includes conditions for one party to buy or sell another property. The real estate professional has obligations to keep you informed of important updates that come up during this time.

Pre-settlement inspection

This is the chance for the buyer to check the property and chattels are in the same condition they were when the sale and purchase agreement was signed and to check that the seller has met any conditions, for example, there is no damage to walls or chattels haven't been removed from the property.

It's important to raise any concerns you find at the pre-settlement inspection with your lawyer and the real estate professional as soon as possible to allow enough time for an issue to be resolved. If it's less than 24 hours before settlement, the vendor may not be obligated to set things right.

Payment of a commission

Once the sale is complete, the seller pays the real estate professional for their services. The real estate agency usually takes the commission from the deposit they're holding in their trust account. The seller should make sure the deposit is enough to cover the commission. The real estate professional cannot ask the buyer to pay for their services if they have been engaged by the seller.

The buyer pays the rest

The buyer pays the remainder of the amount for the property on the day of settlement, usually through their lawyer.

Buying a tenanted property

If the property is tenanted, the agreement for sale and purchase should specify this. It may also contain a specific date for possession that may differ from the settlement date.

If the buyer requires the property to be sold with 'vacant possession', it is the seller's responsibility to give the tenant notice to vacate in accordance with the tenant's legal rights.

It is recommended that you seek legal advice if you are buying a property that is currently tenanted.

What happens if you have a problem

If something has gone wrong, first discuss your concern with the real estate professional or their manager. All agencies must have in-house procedures for resolving complaints.

If you can't resolve the issue with the real estate agency or you don't feel comfortable discussing it with them, you can contact the Real Estate Authority (REA). We can help in a number of ways if your complaint is about the real estate professional. For example, we can help you and the real estate professional or agency to resolve

the issue and remind them of their obligations under the Real Estate Agents Act 2008. When you contact us, we'll work with you to help you decide the best thing to do.

Call us on **0800 367 7322**, email us at info@rea.govt.nz or visit us online at rea.govt.nz

About settled.govt.nz



Settled.govt.nz guides you through home buying and selling.

Buying or selling your home is one of the biggest financial decisions you will make. It's a complex and sometimes stressful process with potentially significant emotional and financial impacts if things go wrong.

Settled.govt.nz provides comprehensive independent information and guidance for home buyers and sellers. You can find information about the risks and how they can impact you and get useful tips on how to avoid some of the major potential problems.

Settled.govt.nz will help to inform and guide you through the process from when you're thinking of buying or selling right through to when you're moving in or out. You'll find valuable information, checklists, quizzes, videos and tools. From understanding LIMs, to sale and purchase agreements, to when to contact a lawyer, **settled.govt.nz** explains what you need to know.

Settled.govt.nz is brought to you by the Real Estate Authority – Te Mana Papawhenua (REA).

For more information

For more information on home buying and selling, visit settled.govt.nz or email info@settled.govt.nz



About the Real Estate Authority – Te Mana Papawhenua (REA)

REA is the independent government agency that regulates the New Zealand real estate profession.

Our purpose is to promote and protect the interests of consumers buying and selling real estate and to promote public confidence in the performance of real estate agency work.

What we do

Our job is to promote a high standard of conduct in the real estate profession and protect buyers and sellers of property from harm.

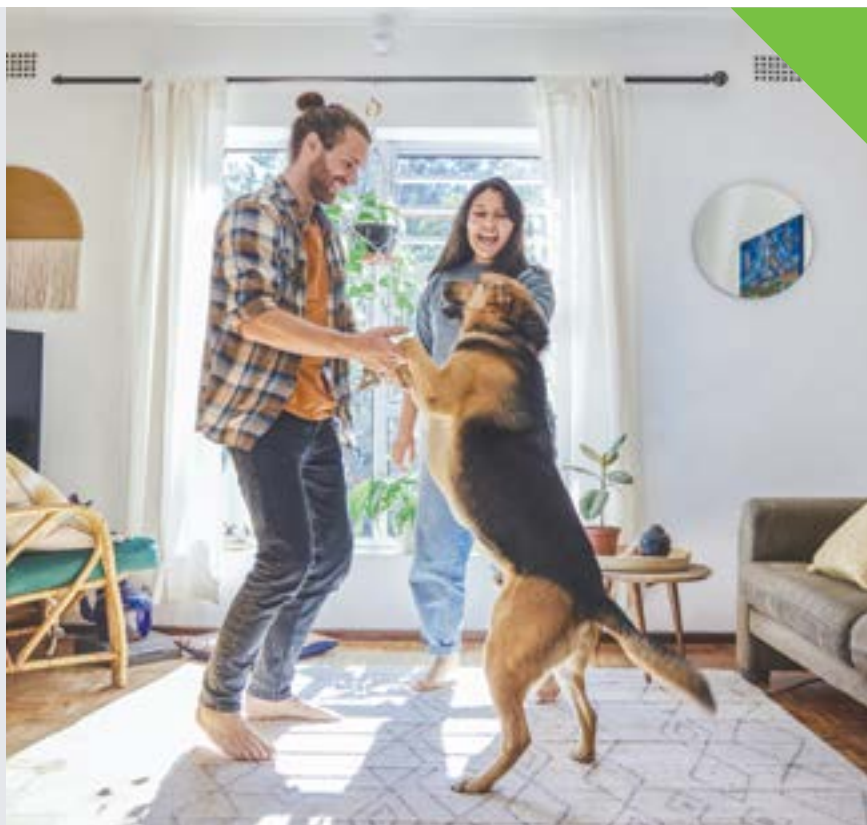
- We provide independent information for people who are buying and selling property through our settled.govt.nz website.
- We provide guidance for real estate professionals and oversee a complaints process.
- We license people and companies working in the real estate industry.

- We maintain a Code of Conduct setting out the professional standards real estate professionals must follow.
- We maintain a public register of real estate professionals that includes information about disciplinary action taken in the last 3 years.

The Real Estate Agents Authority is a Crown agent, established under the Real Estate Agents Act 2008. The Real Estate Authority is the operating name of the Real Estate Agents Authority.

For more information

To find out more about REA, visit rea.govt.nz, call us on **0800 367 7322** or email us at info@rea.govt.nz



Approved under section 133 of the Real Estate Agents Act 2008. Effective from 14 October 2022.