

PEAK CONSTRUCTION LIMITED (Goldstar)
Schedule of Specification of Dwelling to be Constructed

Client Name: S&J Frost Date: 30/08/2013
 Site Address: 444A Bower Ave Present Address: 444A Bower Ave
Burwood Christchurch
Christchurch
 At Lot No: 19 DP No: 30563 Land area: 885
 Mobile: 021 2588027 Home: 03 3838511 House size: 190.2 sqm
 Sales Person: Trevor Creighton Email: tsbsfrost@msn.com Job num: 90355

External Works		Size					
Driveway Crossing	Excluded	Excluded					
Driveway	Included	Asphalt (max 100mm deep metal)	65	sqm			
Patios and paths	Included	Coloured concrete (max 100mm deep metal)	35	sqm			
Decks	Excluded	Excluded	0	sqm			
Steps	Excluded	Excluded	0	number			
Fencing	Excluded	Excluded	0	LM			
Fence staining	Excluded	Excluded	0	LM			
Gate	Included	Timber Gate 1m wide x 1.8m high	1	number			
Clothesline	Included	Builders Selection					
Letterbox	Included	Builders Selection					
Other	Excluded		0				
Other	Excluded		0				
Landscaping	Excluded	Ready lawn	N/A	Mulch	N/A	Plants	N/A
Retaining walls	Excluded						
Ground level exterior works	na						

Site Works	
Services - phone, water, drainage	Included - connection at boundary
Services - power	Included - connection at boundary (Excludes costs to change overhead to underground)
Septic Tank	N/A
Edge Protection	Included
Scaffolding	Included
Site Security	Included
Site Access	Heavy vehicle access to be provided to builder
Survey	Standard site survey included (excludes repegging)
Building Consent	Treated as future variation to insurer
Foundation Engineering	Included
Finished Floor Height	FFL 320mm above existing ground level Price and foundation excludes raising foundations and/or site to higher level if required for flood zones unless noted above
Excavation	280mm dig out maximum with 100mm gravel raft
Removal of Spoil	Included
Foundation	Firth releveable slab. Subject to full engineering approval Excl piling, bridging, rock excavation, bearing pressure less than 100kpa. Mesh to DBH standards.

Exterior	
Framing	Galvanized ZOG® Steel trusses to engineers design Roof pitch 25.0 degrees Galvanized ZOG® Steel frames with 25mm Galv ZOG steel ceiling battens & roof purlins E61 10mm exterior frame cover-up with Thermacraft Building Paper 50yr Durability Warranty, G550 High Tensile Steel. Frames designed and rated to Earthquake Zone A
Exterior Cladding	50mm ERF® aerated concrete panel cladding system plastered and painted
Windows to Soffit	
Gables	N/A
Roofing Type	Shake safin tile roof with Angle trim and underlay, rated to a high wind zone. Satin finish
Roof Lining	Fire retardant roof underlay

SIGNED Trevor Creighton SIGNED [Signature]
 DATE 25/9/13 DATE 25/9/13

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Exterior continued	
Exterior Joinery	Thermally broken powdercoated aluminium windows and doors (including Garage) Black window hardware, pre-primed H3 Treated FJ Pine liners
Toughened Safety Glass	Excluded
Bathroom Joinery	Passive vents with Etchlite glass
Etchlite Glass	To toilet, bathroom, ensuite, rear door all remaining glass is clear
Tinted Glass	N/A
Front Door	Flush panel thermally broken aluminium front door (5 colours only)
Front Door Hardware	Schlage FE595 electronic key pad - Satin chrome
Spouting	Coloursteel fascia & gutter c/w coloursteel downpipes
Garage Door	4500 Conqueror Cambridge Flat Panel Velvet sectional door c/w opener and remotes
Second Garage Door	N/A
Garage Door Glass Inserts	N/A
Separate Garage cladding	N/A
Separate Garage electrical	N/A
Exterior Taps	3 x Brass HMC 15mm taps
Finishing Timber	Paint Quality
Painting Soffits	Peak Construction
Solafubes	N/A
Interior	
Carpets	Catlins quality heavy duty cut pile carpet (included as contents)
Bathrooms	Vinyl from builders selection
Entry & Kitchen	Tiles in 4sqm of entry (tiles from builders selection)
Interior Lining	10mm GIB board to ceilings taped and stopped to paint finish 10mm GIB board to walls taped and stopped to paint finish
Interior Doors	Flush PQ HC doors with 18mm Flat FJ paint quality pine jambs
Door Architraves	No.19 40mm single bevel FJ pine
Interior Door Hardware	Schlage Elan satin chrome. Privacy locks to bathroom and ensuite. Passage sets to wardrobe doors, magnetic double doors.
Door Stops	Chrome
Skirting	No.20 60mm single bevel FJ paint quality pine
Skofla	Gib Classic Cove 55mm
Insulation	Ceilings - R3.6 Insulation to living areas - excludes garage(s) Walls - R2.2 Insulation to external walls of house and internal wall between house and garage(s). Total R rating of R2.6 with ESI Board.
Wardrobes	Ventilated shelving system - white
- Walk In Wardrobe	Ventilated shelving system - white
Hot Water Cupboard	Ventilated shelving system - white
- Hall Cupboard	Ventilated shelving system - white
Interior Corners	Round corners to all internal walls
Decorating	Flat finish to ceilings, Low Sheen finish to walls - Up to 3 paint colours NB: Extra paint colours and feature walls will incur additional costs
Finishing Timber	Paint Quality
Kitchen	
Kitchen Type	Merivale - Formica
Bench Top	Laminate with rolled edges
Kitchen Units	Melamine carcasses
Door & Drawer Fronts	Melamine from select colour range or Laminate with PVC Edging
Handles	"D" Handles - (from Builders Selection)
Sink	Stainless steel twin sink bowl insert with draining tray. (From Builders selection)
Pantry	Melamine carcass with adjustable shelves
Pantry(s)	Melamine carcass with adjustable shelving
Sink Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome

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25/9/13

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Bathroom	
Shower	Clearlite Sierra 900mm x 900mm Tray and Liner - white
Shower Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Shower Rose	Methven Echo Strata sliding shower rail - chrome
Bath	Clearlite Pacific 1855 x 740mm - white
Bath Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Bath Spout	Methven SP99CP - Chrome
Vanity	ZARA Z75DWH (750mm) Wall hung Italian porcelain top, single drawer vanity - Charred Oak
Vanity Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Mirror	Frameless - 700mm wide x 900mm high
Toilet	Caroma Trident smartflush 4.63 S Trap-981636W
Toilet Vanity	N/A
Tiling	100x300 white tiles to bath surround & between vanity and mirror
Ensuite	
Shower	Clearlite Sierra 900mm x 900mm Tray and Liner - white
Shower Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Shower Rose	Methven Echo Strata sliding shower rail - chrome
Bath	N/A
Bath Mixer	N/A
Bath Spout	N/A
Vanity	ZARA Z75DWH (750mm) Wall hung Italian porcelain top, single drawer vanity - Charred Oak
Vanity Mixer	Methven Echo Minimalist ceramic disk flick mixer - chrome
Mirror	Frameless - 700mm wide x 900mm high
Toilet	Caroma Trident smartflush 4.63 S Trap-981636W
Tiling	100x300 white tiles between vanity and mirror
Laundry	
Tub	G & A Ultratub UT555 including soap dispenser, pull out basket Space for washing machine

SIGNED *[Signature]*
DATE 25/9/13

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DATE 25/9/13

Electrical		
Recessed lights	18	
Power Points - Single	7	Required for Fridge/Rangehood/Microwave/Hall/Bathroom/Ensuite/Garage door
- Double	11	1 Required for Dishwasher / Waste Disposal
2 Way Light Circuit	1	
TV Points	2	
Phone Points	2	
Heated Towel Rails	2	White S type heated towel rail
Heater/Extractor/Light Units	2	c/w soffit ducting kit
Smoke Detectors	2	
Fire Place	Supply & install 900mm decorative gas fire - Rinnal Arriva 750	
Heat pump	Heatpump - MSZ-GE26VA 3.2kW Fully Installed	
Hotwater Cylinder	Rheem Infinity 26L Gas Hot Water	

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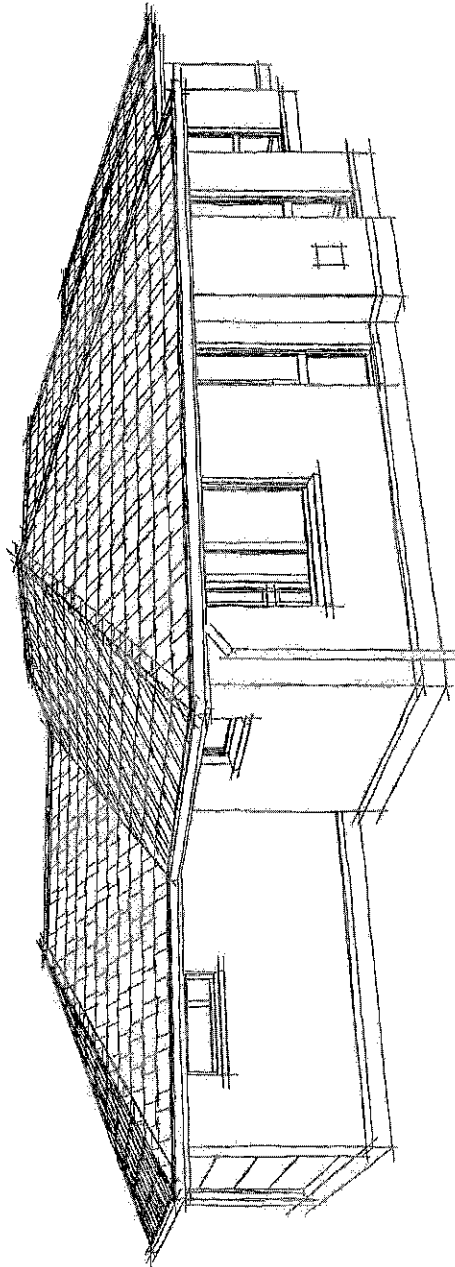
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Jeremy Moloney BP108395 - Design 2
 Logan Roberts BP 108355 - Design 2



BUILDING COMPONENT, NOMINATED MEANS OF COMPLIANCE

- Foundation
 - Wall framing
 - Roof framing
 - Roofing
 - Cladding
 - Bracing
 - Insulation
 - Internal linings
 - Bathrooms
 - Showers
 - Water Heating
 - Water supply
 - Sanitary Plumbing
 - Drainage
 - Laundry
 - Kitchen
 - Smoke alarms
 - Natural light
 - Ventilation
 - Heating
 - Access
- Foundation design by others : Foundation plan, Foundation details
 - ZOG@ 0.75mm G350 Z275 steel framing; Framing details
 - ZOG@ 0.75mm G350 Z275 steel brusses; Roof framing details
 - E2/AS1: Roof flashings
 - E2/AS1: Elevations & risk matrix, Exterior Joinery Details, Cladding Details
 - NZS 3604:2011; Bracing plan, Bracing details
 - NZBC- Clause H1, energy efficiency, 3rd edition; Insulation Calculations
 - E3/AS1: Cross Sections
 - E3/AS1: Wet Area Details
 - E3/AS1: Wet Area Details
 - Refer: Meter Heater Details
 - AS/NZS500.2 Drain water supply
 - G13/AS1: Drainage plan
 - G13/AS2: Drainage plan
 - G2/AS1: Floor plan
 - G3/AS1: Floor plan
 - PT/AS1: Electrical plan
 - G7/AS1: Natural Lighting & Ventilation
 - G4/AS1: Natural Lighting & Ventilation
 - G11/AS1 Gas heater.
 - D1/AS1: Floor plan

Peak Construction Limited
 Phone: (03) 371 7440

FRAMES BY:
 ethel frame of the future technology

PLAN NAME:
JEFFERSON
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NOTES:
 ZOG® frames & brusses
 -ZOG® frames & brusses are designed using ProCAD engineering & detailing software.
 -ZOG® framing is 40x100-75mm rollformed from AXXIS® steel provided by NZ Steel Ltd.
 -Drawings should be read in conjunction with the latest ZOG® Manual
 This job has been reviewed & a F&I provided by
 Claude Anthony Carter Cook CPENG
 Chartered Prof Engineer No.240941
 Redco NZ Ltd
 470 Omuotoa Road
 Tauranga
 Ph 07 571 7070

Building Design Summary
 Site data
 • Ground bearing: (refer AS2870)
 • Subsoil Class: (NZS1170, section B)
 • Nitro zone: (NZS3604, section 5)
 • E-quake zone: (NZS3604, figure 5.4)
 • Climate zone: (NZS4210, B1)
 • Exposure zone: (NZS3604, figure 4.2)
 • Rainfall zone: (NZS3604, figure 15-1)
 • Snowload:
 • Building class: (NZS3604, table 1.1)
 • Floor live loads: (NZS3604, table 1.2)
 CLIENT:

S & J Frost
 Lot No. 19, DP 30563
 444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:
 Christchurch City Council
 Living Zone 1

SITE DATA: for zones upto & including REF 6/EOTEC
 Ground Bearing: E
 Sub-soil Classification: High
 Wind Zone: 2
 Earthquake Zone: C
 Exposure Zone: 3
 Climate Zone: 35mm/yr
 Rainfall Intensity: 1.0kPa (open ground)
 Snowload:
 DRAWING TITLE:
Contents & Design

JOB No: 90955 SALES: Trevor
 ZOG No: Z2223 DRAWN: 005
 PLAN DATE: 18/10/2013
 SCALE: SHEET No. 1 OF 27



FRAMES BY:



Specialist Frames of High Performance Windows

PLAN NAME:

JEFFERSON

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NOTES:

- Bracing Element Lines - Holes or intrusions into the ZOG® frame bracing elements may require engineers approval design for remedial work.
- ZOG® must be contacted for an alternative solution prior to any intrusions and/or modifications being made to bracing elements.
- Sewer & stormwater connections are to be confirmed on site prior to commencement of foundations.
- The sewer and stormwater disposal design is the responsibility of the plumber. The designer takes no responsibility for any errors that may occur. Compliance with all applicable codes are required at all times.
- Drain traps to confirm downpipe locations prior to commencement of construction.
- **WASTE WASTES** - All vanity wastes to be put into wall frame to allow for wall hung vanities.
- **SINK VOLUMES** must comply with NZBC:
 - Laundry tub - to have a capacity to spill-level of no less than 35 litres, and be capable of fully containing a solid cylinder of 400 mm diameter and 200 mm depth
 - Kitchen sink - The sink shall be capable of fully containing a solid cylinder of 300 mm diameter and 125 mm depth.

REFER TO DRAINAGE DETAILS ALSO
(Located on the following sheet)

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including
Ground Bearing: REF GEOTECH
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 50mm/hr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Drainage Plan

JOB No:

90955

SALES:

Trevor

ZOG No:

72229

DRAWN:

005

PLAN DATE:

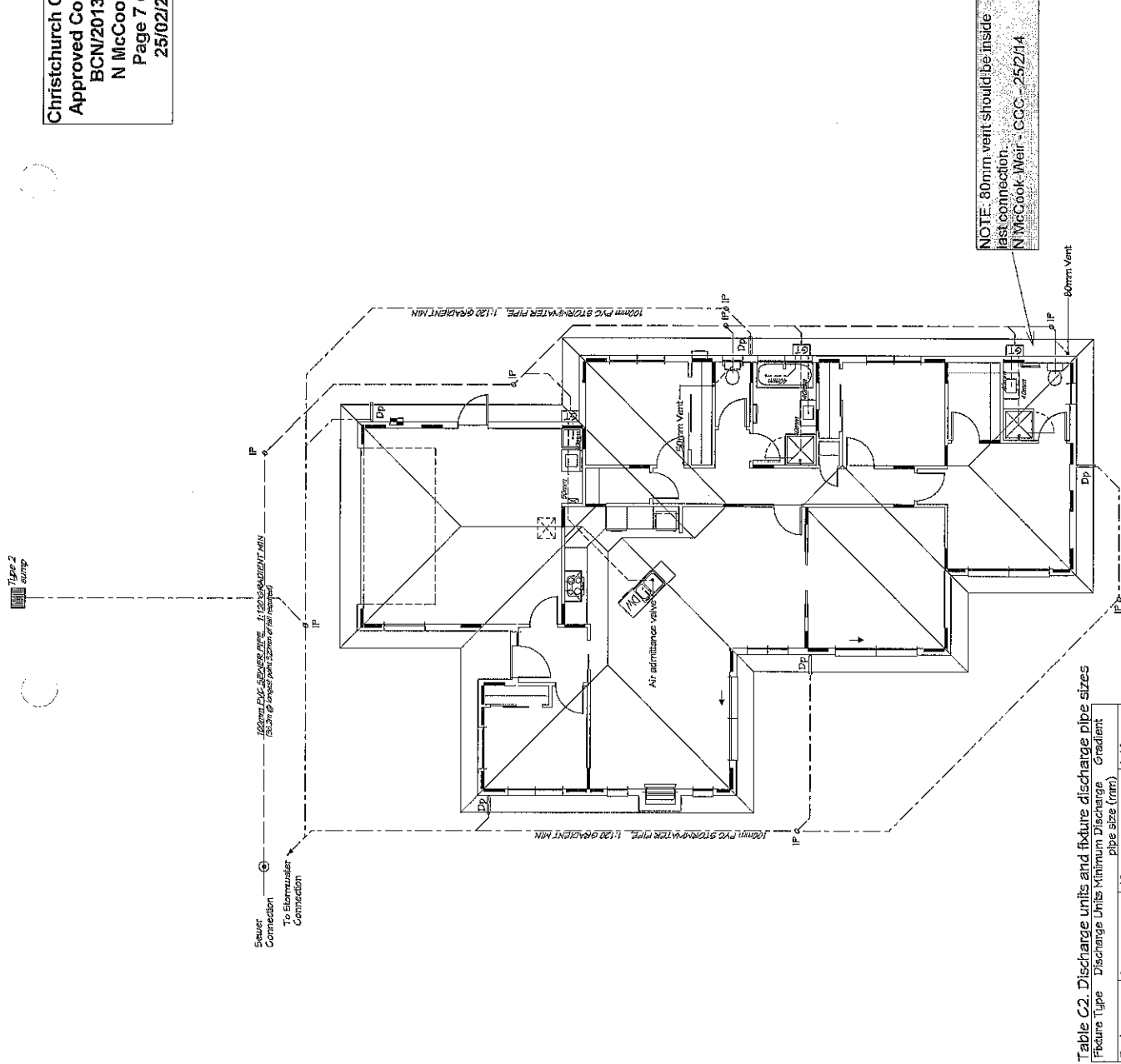
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NOTE: 80mm vent should be inside last connection.
N McCook-Weir - CCC - 25/2/14

Table C2. Discharge units and fixture discharge pipe sizes

Fixture Type	Discharge Units	Minimum Discharge pipe size (mm)	Gradient
Basin	1	40	1:40
Bath	4	40	1:40
Shower	2	40	1:40
Laundry	3	50	1:40
Kitchen sink	16	55	1:40
WC	4	100	1:50

NZBC G13 AS/1.

KEY

- 100mm PVC STORMWATER DRAIN
- 100mm PVC SOIL DRAIN
- WASTE PIPES
- TERMINAL VENT
- OTV INSPECTION POINT
- ORE RODDING EYE
- GT GULLY TRAP
- ODP DOWNPIPES
- ALL DRAINAGE TO NZBC Clause G13



FRAMES BY:



Chief, Finance of the Finance Industry

PLAN NAME:

JEFFERSON
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NOTES:

- All details in accordance with E1/A51
- Vanity wastes - All vanity wastes to be put into wall frame to allow for wall hung vanities
- Sinks volumes must comply with NZBC.
- Laundry tub - to have a capacity to spill-level of no less than 95 litres, and be capable of fully containing a solid cylinder of 400 mm diameter and 200 mm depth
- Kitchen sink - The sink shall be capable of fully containing a solid cylinder of 300 mm diameter and 125 mm depth.

REFER TO DRAINAGE PLAN ALSO
(Located on the previous sheet)

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CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including

- Ground Bearing: REF 6/20/TEC
- Sub-soil Classification: E
- Wind Zone: High
- Earthquake Zone: 2
- Exposure Zone: C
- Climate Zone: 3
- Rainfall Intensity: 50mm/hr
- Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Drainage Details

JOB NO:

90953 Trevor

ZOG NO:

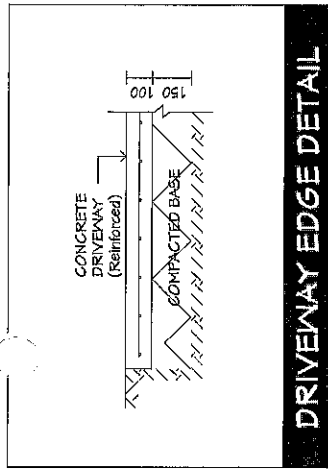
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PLAN DATE:

18/10/2013

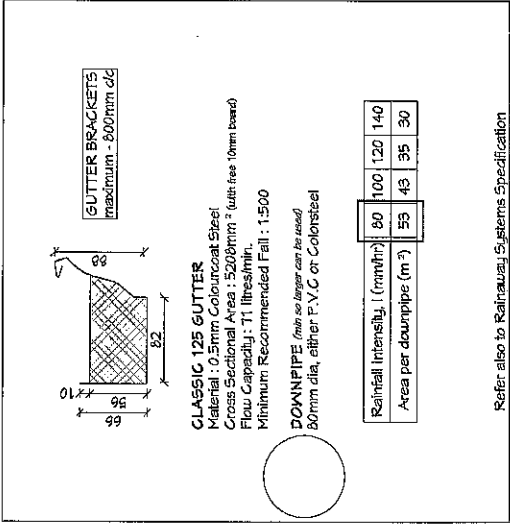
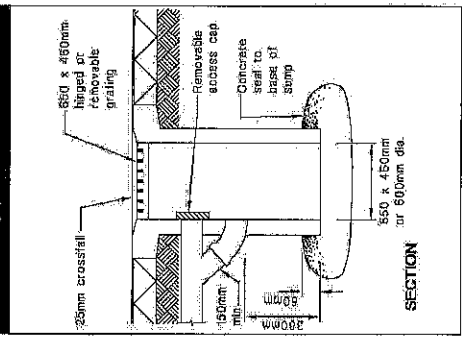
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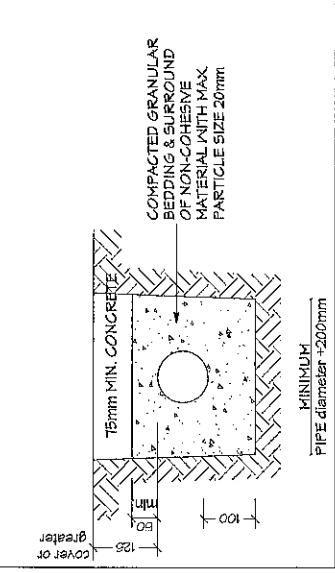
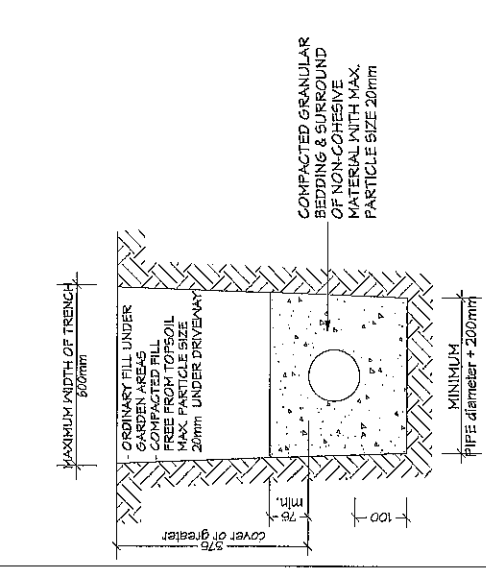
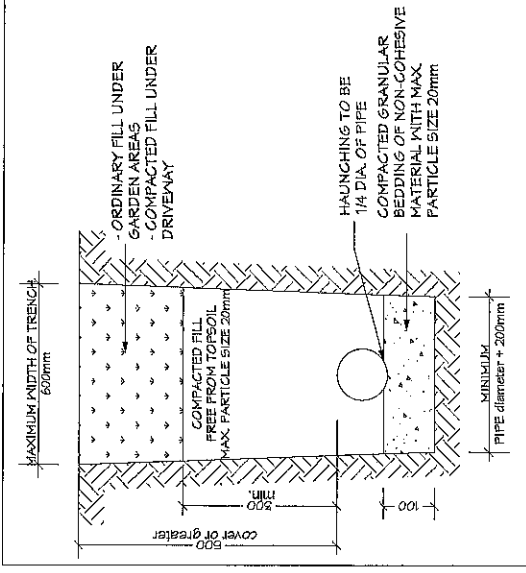
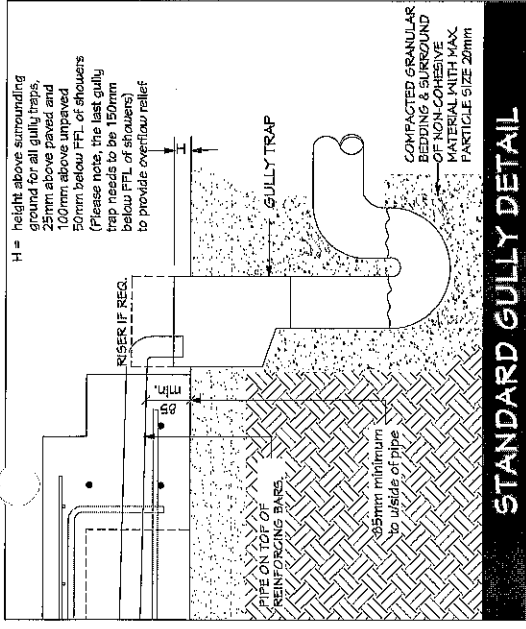
DRIVEWAY EDGE DETAIL

Figure 9: Two-Surface Water Sump Pursuant 3.6.2

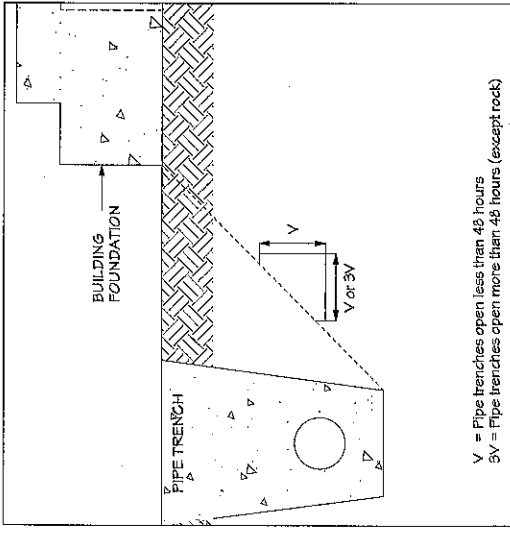


GUTTER AND DOWNPIPE INFO

Refer also to Rainwater Systems Specification



PIPE BEDDING AND BACKFILLING



TRENCH NEXT TO FOUNDATION

V = Pipe trenches open less than 48 hours
3V = Pipe trenches open more than 48 hours (except rock)

NOTES:

- All groundlines are indicative only and must be confirmed on site prior to commencement of any site works
- Finished floor levels in relation to height to boundary recession plane requirements are the responsibility of the floor layer. Any discrepancies between the plan and the actual site levels are the responsibility of the floor layer and must be reported to 'The Designer' immediately
- All claddings fixed as per manufacturers specifications
- EGL = Existing Ground Level
- FFL = Finished Floor Level
- FGL = Finished Ground Level
- GL = Ground Level
- FFL = Finished Platform Level

Safety Glazing

- All glazing to be in accordance with the NZ Building Code Handbook and NZS 4223, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
- All glazing panels to balconies and toilets to have safety glazing to the interior panel only
- All glazing to be confirmed by the manufacturer prior to construction

(55) Indicates safety glass

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including

Ground Bearing: REF GEOTECH
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 55mm/hr
Snowload: 1.0kPa (open ground)

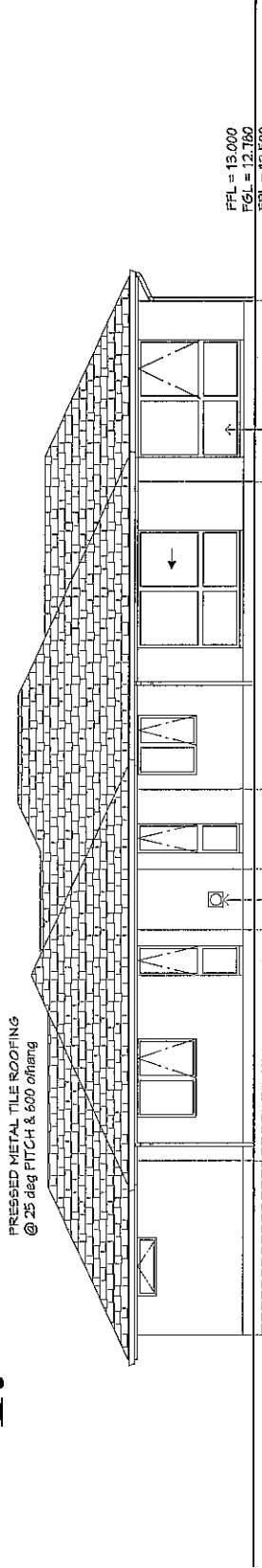
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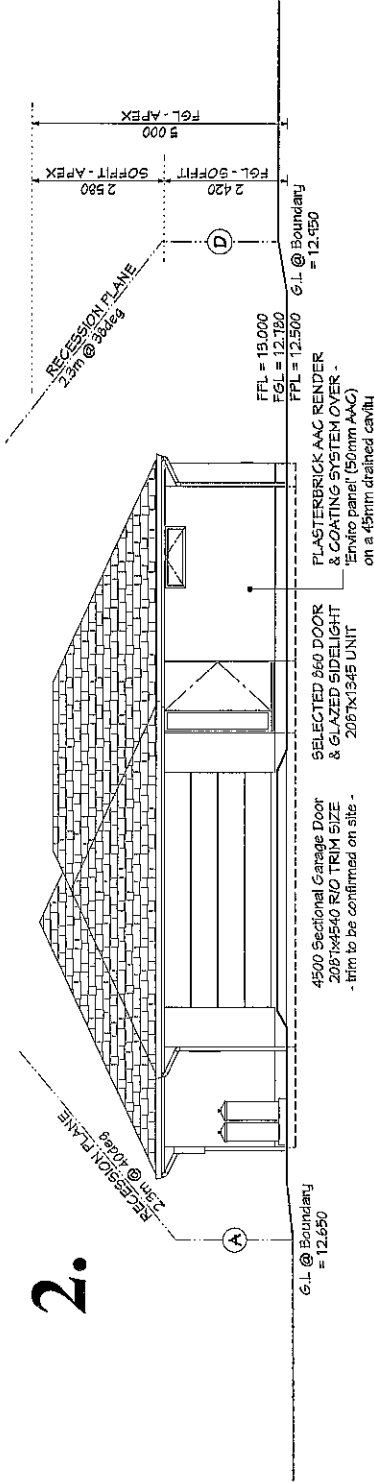
JOB NO:	90395	SALES:	Trevor
ZOG No:	Z2229	DRAWN:	009
PLAN DATE:	18/10/2013		
SCALE:	1:100	SHEET NO.	5 OF 21

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1.



2.



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of these units.

Table 2 Building envelope risk matrix Paragraph 3.1.2, Figure 1

All Walls Risk factor	Risk Severity				Total Risk Score = 7
	Low	Med	High	Very High	
Wind zone (per NZS 3604)	0	0	1	2	1
Number of storeys	0	1	2	4	0
Roofwall intersection design	0	1	3	5	1
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	0
Deck Design	0	2	4	6	0



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NOTES:

- All groundlines are indicative only and must be confirmed on site prior to commencement of any site works
 - Finished floor levels in relation to height to boundary recession plane requirements are the responsibility of the floor layer. Any discrepancies between the plan and the actual site levels are the responsibility of the floor layer and must be reported to 'The designer' immediately.
 - All claddings fixed as per manufacturers specifications
 - EGL = Existing Ground Level
 - FFL = Finished Floor Level
 - FGL = Finished Ground Level
 - GL = Ground Level
 - FPL = Finished Platform Level
- Safety Glazing**
- All glazing is to be in accordance with the NZ Building Code Handbook and NZS 4229, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
 - All glazing panels to bathrooms and toilets to have safety glazing to the interior panel only
 - All glazing to be confirmed by the manufacturer prior to construction

(SG) Indicates safety glass

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA:

for zones upto & including REF GEOTEC
Ground Bearing: REF GEOTEC
Sub-soil Classification: E
Wind Zone: High
Earthquake Zone: 2
Exposure Zone: C
Climate Zone: 3
Rainfall Intensity: 55mm/yr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Elevations .2

JOB No:

40355

ZOG No:

Z2225

PLAN DATE:

18/10/2013

SCALE:

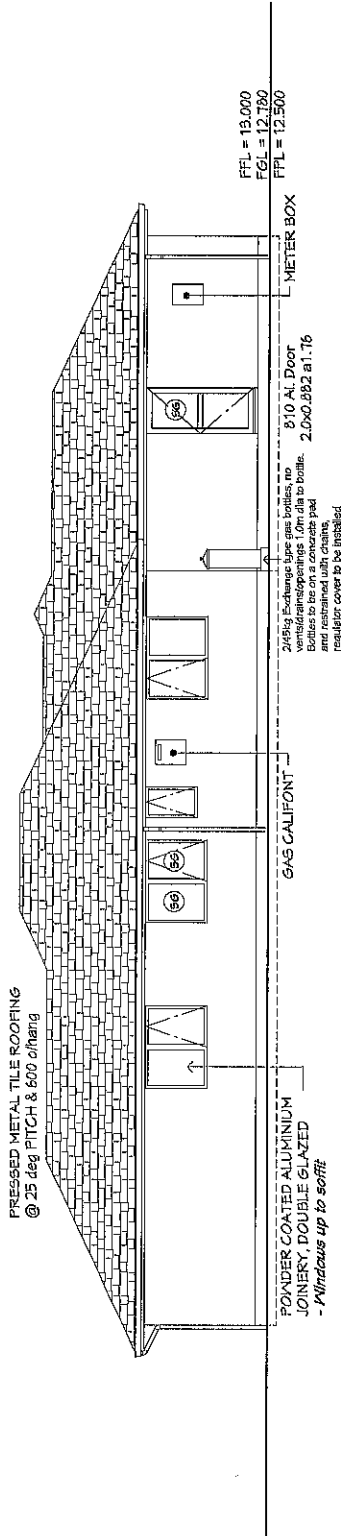
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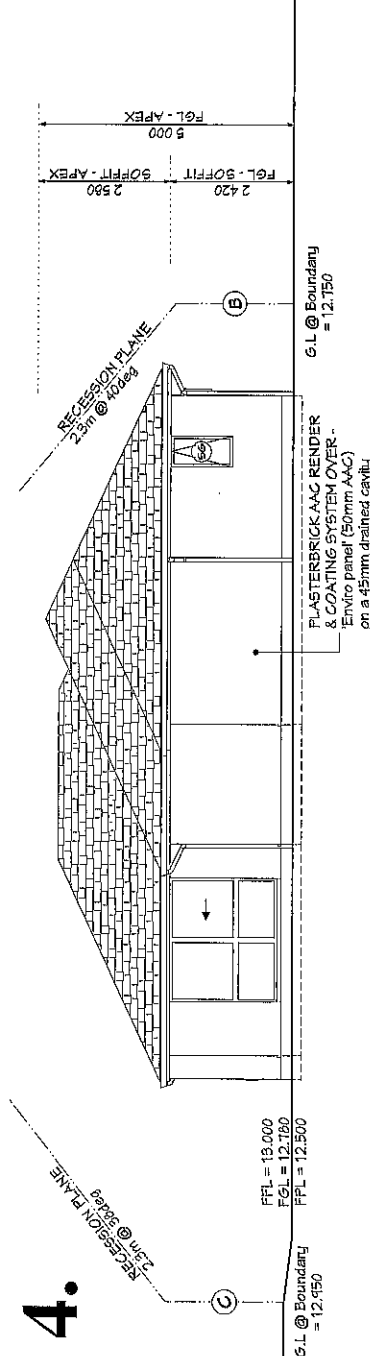
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3.



4.



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of those units.

All Walls Risk factor	Risk Severity			Subtotals for each risk factor			Total Risk Score = 7
	Low	Med	High	Very High	High	Medium	
Wind zone (per NZS 3604)	0	0	1	2	1		
Number of stories	0	1	2	4	0		
Roof/wall intersection design	0	1	3	5	1		
Eaves width	0	1	2	5	5		
Envelope complexity	0	1	3	6	0		
Deck Design	0	2	4	6	0		



FRAMES BY: **ZOG**
cheat Avenue of the future today

PLAN NAME: **JEFFERSON**
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NOTES:
Refer engineers P51 for certification
• R/hood & Extractors vented to soffit on wall
• Pre-Fab roof access, trim 635x635mm
• Moler box width 500mm max
• Kitchen bench finish options: Stainless steel or a decorative high pressure laminate
• Basins/Vanities and benches are to be sealed to the adjacent walls to prevent fungal growth.
• Wet wall sheet linings finished with vinyl coated wall paper, semi-gloss or gloss coating and comply with NZ Building code clause E5-3.1.2
• Wet area floor finishes to be impervious and comply with NZ Building code clause E5-3.1.1 & D1 AS/VM1
• Internal and external walling surfaces to comply with NZBC D/HAST 2.1.1 - 2.1.5, and Table 2



FLOOR COVERINGS:
1 = VINYL AREAS
2 = TILED AREAS
3 = GARAGE FLOOR - Plain concrete

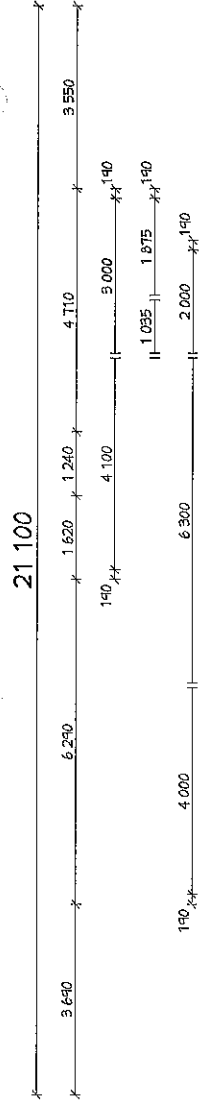
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Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:
Christchurch City Council
Living Zone 1

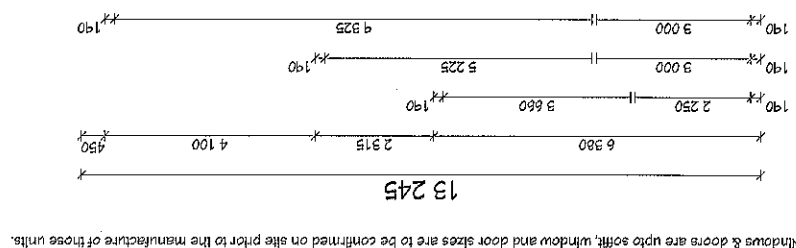
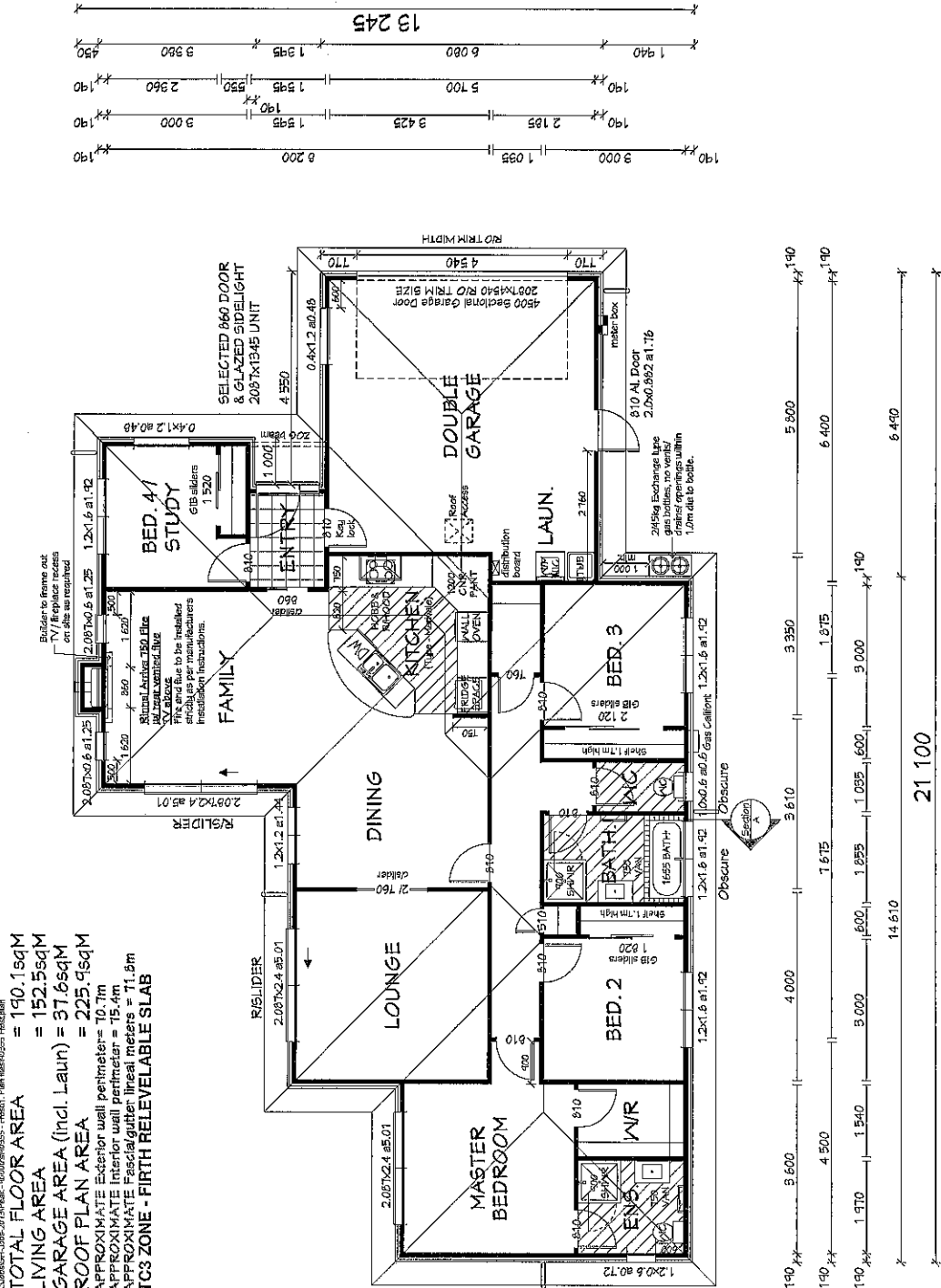
SITE DATA: for zones upto & including REF 6/GEOTEC
Ground Bearing: E
Sub-soil Classification: High
Wind Zone: 2
Earthquake Zone: C
Exposure Zone: 3
Climate Zone: 55mm/hr
Rainfall Intensity: 1.0kPa (open ground)
Snowload:

JOB NO: 40955 SALES: Trevor
ZOG No: Z2223 DRAWN: 005
PLAN DATE: 18/10/2013
SCALE: 1:100 SHEET No. 1 OF 21

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LANDUSE: Job-2013/Pak...-1000249355 - Projct: Plan 65493257 Production
TOTAL FLOOR AREA = 190.15sqM
LIVING AREA = 152.55sqM
GARAGE AREA (incl. Laun) = 37.6sqM
ROOF PLAN AREA = 225.95sqM
APPROXIMATE Exterior wall perimeter = 10.7m
APPROXIMATE Interior wall perimeter = 15.4m
APPROXIMATE Fascia/gutter lineal meters = 71.9m
TC3 ZONE - FIRTH RELEVABLE SLAB



NOTE: Windows & doors are upto soffit, window and door sizes are to be confirmed on site prior to the manufacture of those units.

NOTE: The dimensions on this foundation plan are to be checked by all trades prior to commencement of any works as they are an indication only and have been shown to help verify each trades own calculation from the floor plan. The designer takes no responsibility for any errors in the dimensions shown. Do not start this foundation without the site plan, Elevation, Floor plan and Bracing plan. If pipes or services are placed within a bracing element, remedial work will be required. If interference is discovered then the designer must be notified prior to commencement so that an alternative solution can be found.

Peak Construction Limited
Phone: (03) 371 7940

GOLDSTAR HOMES

FRAMES BY: **Zog**
Special Frames of the Future today

PLAN NAME: **JEFFERSON**
Altered

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NOTES:
 • Rein Slab designed for an allowable bearing capacity of at least 50kPa if upon inspection ground is not achieved, then all site works are to be carried out in accordance with a geotechnical investigation report in accordance with NZS 3904:2011 and related documents. Site investigations for such investigations to comply with the requirements of AS2270 and referenced documents.
 • No slab shrinkage saw cuts are to be made in this slab under any circumstances unless specifically asked for by Civil engineering. Any cuts to the slab will destroy the integrity of the floor (ref AS2270 Supplement 1-1996 C4.1 (a) second paragraph p24)
 • Slab concrete strength shall be 20MPa (or 25MPa in exposure zone D) at 28 days.
 • All reinforcement to be appointed on suitable bar 'chairs' @ 900c/c
 • Compacted fill (when required) to be in accordance with NZS 3604:2011. Clause 7.5.9
 • Granular fill material complying with 7.5.3.2 shall be placed and compacted in layers of 150 mm maximum thickness, over the area beneath the proposed ground slab, so that the total thickness of granular base is not less than 15 mm nor more than 600 mm.
 • If handfill used or existing subsoil could cause intrusions to DPM layer, protect it by blinding the handfill with sand 5-25mm thick. As per NZS 3604
 • Concrete slab reinforcement to be earth bonded with rod approx 400 long tied to the mesh and top rod of the perimeter where power and water enters dwelling, and to comply with NZEC Clause 6.4.3.1a

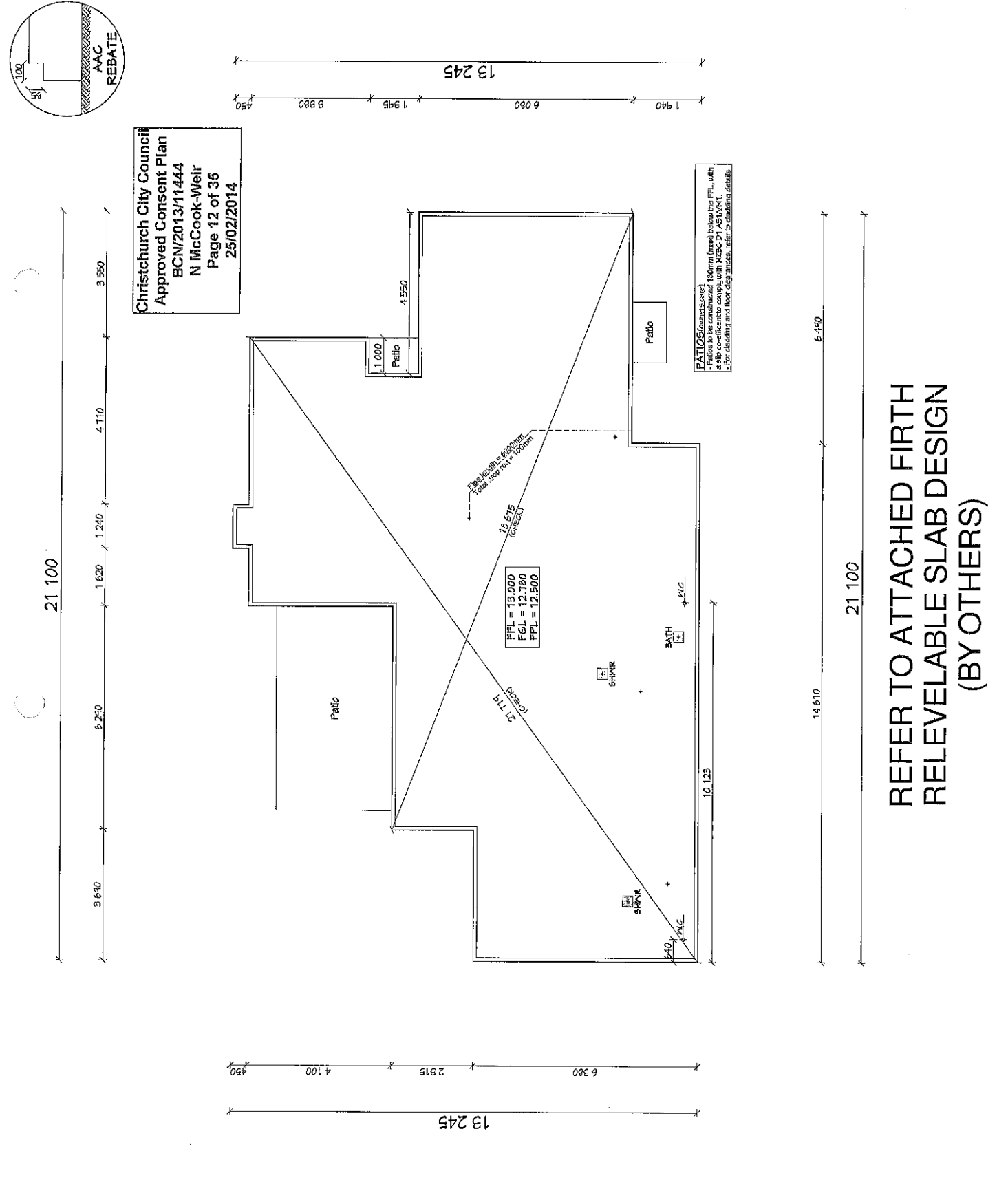
CLIENT:
S & J Frost
 Lot No. 19, DP 30563
 444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:
 Christchurch City Council
 Living Zone 1

SITE DATA: for zones upto & including
 Ground Bearing: REF GEOTECH
 Sub-soil Classification: E
 Wind Zone: High
 Earthquake Zone: 2
 Exposure Zone: C
 Climate Zone: 5
 Rainfall Intensity: 55mm/hr
 Snowload: 1.0kPa (open ground)

DRAWING TITLE:
Foundation Plan

JOB No: 40555 SALES: Trevor
 ZOG No: 72223 DRAWN: 005
 PLAN DATE: 18/10/2013
 SCALE: 1:100 SHEET No. 8 OF 21



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REFER TO ATTACHED FIRTH
 RELEVELABLE SLAB DESIGN
 (BY OTHERS)



FRAMES BY:

PLAN NAME: **JEFFERSON**
© GOLDEN HOMES HOLDINGS LTD, 2013

NOTES:

Construction

- Roof Structure: ZOG steel frame trusses Nom. 120mm c/cs Refer to floor plan
 - Overhangs: Refer elevations
 - Ceiling: Fine retardant underlay Metal @ 250mm c/c Fascia system: 4.5mm Hardiflex® lining
 - Sorte: ZOG ceiling battens @ 450/c max. Plasterboard
 - Finishing: ZOG steel frames Nom. 600mm c/cs (unless noted)
 - Slud height: Refer to cross section
 - Int. lining: Plasterboard horizontal
 - Thermal break: 10mm XPS polystyrene
 - Building wrap: Fastwrap
 - Windows: Aluminium double glazed
 - Doors: Refer Floor plan
 - Fixings: Refer Floor plan
- * All fixings to be as per the latest ZOG steel frame manual and comply with Section 4, Durability, NZS-3604:2011
- * Any treated timber in contact with the ZOG steel frame must be LOSP treated ONLY to avoid corrosion. (Never CCA)

INSULATION

- External Walls = R-2.2 batts
- Internal Garage Walls = R-2.2 batts
- Ceiling = R-3.6 batts

CLIENT:

S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

TERRITORIAL AUTHORITY:

Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including

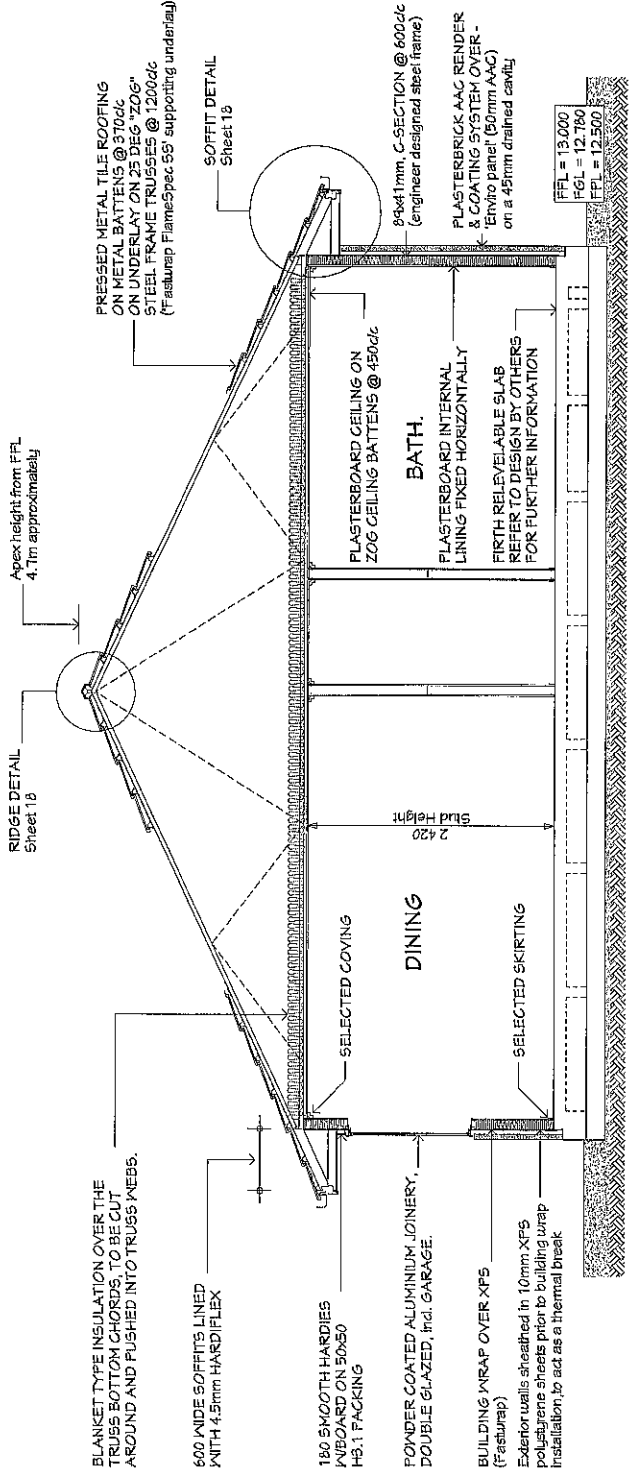
- Ground Bearing: REF GEOTECH
- Sub-soil Classification: E
- Wind Zone: High
- Earthquake Zone: 2
- Exposure Zone: C
- Climate Zone: 3
- Rainfall Intensity: 55mm/yr
- Snowload: 1.0kPa (open ground)

DRAWING TITLE:

Cross Section

JOB No:	90395	SALES:	Trevel
ZOG No:	Z2229	DRAWN:	005
PLAN DATE:	19/10/2013		
SCALE:	1:50	SHEET No.	9 OF 27

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Fixings - 10-16/16 Hex head screws are used to hold the building wrap & metalhold in place. 10mm XPS sheets to be fixed to steel frame with Pascode ND30 power driven nails through 0.75mm x 25mm square galvanised washers.

REFER TO ATTACHED FIRTH RELEVEABLE SLAB DESIGN (BY OTHERS)



FRAMES BY: **ZOG**
Specialist Frames of the Southern Valley

PLAN NAME: **JEFFERSON**
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NOTES:
Bracing Element (A1.0.5 ZK) Label & Length Type

Bracing Element Lines
• Holes or intrusions into the ZOG® frame bracing elements may require engineers specific design for remedial work.
• ZOG® must be contacted for an alternative solution prior to any intrusions and/or modifications being made to bracing elements.

BRACING PLAN
• All bracing in accordance with the ZOG® manual &五金stones test results specific to ZOG® frames & trusses.
• Bracing grids to be maximum of 6.0m
• If a wall intersects a ZOG® frame brace, then a ZOG® type A 45x45x0.75mm angle is required to allow fixing of gib sheets in corners

• Bracing plan to be read in conjunction with bracing details located on the following sheet: **BRACING SOFTWAIRE**
Bracing for Golden Homes is calculated using the latest version of "ZOGBrace". This programme is developed in accordance with NZS3604:2011.
Contact details:
Email: tauranga@zog.co.nz

The bracing has been reviewed & a P51 provided by:
Claude Antony Carter Cook CPEng
Chartered Prof Engineer No. 240891
Resco NZ Ltd
410 Ohinemutu Road
Tauranga
Ph 07 571 7070

CLIENT:
S & J Frost
Lot No. 19, DP 30563
444A Bower Avenue
CHRISTCHURCH

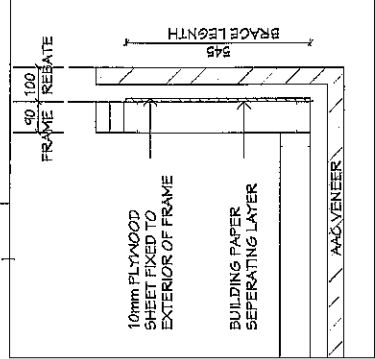
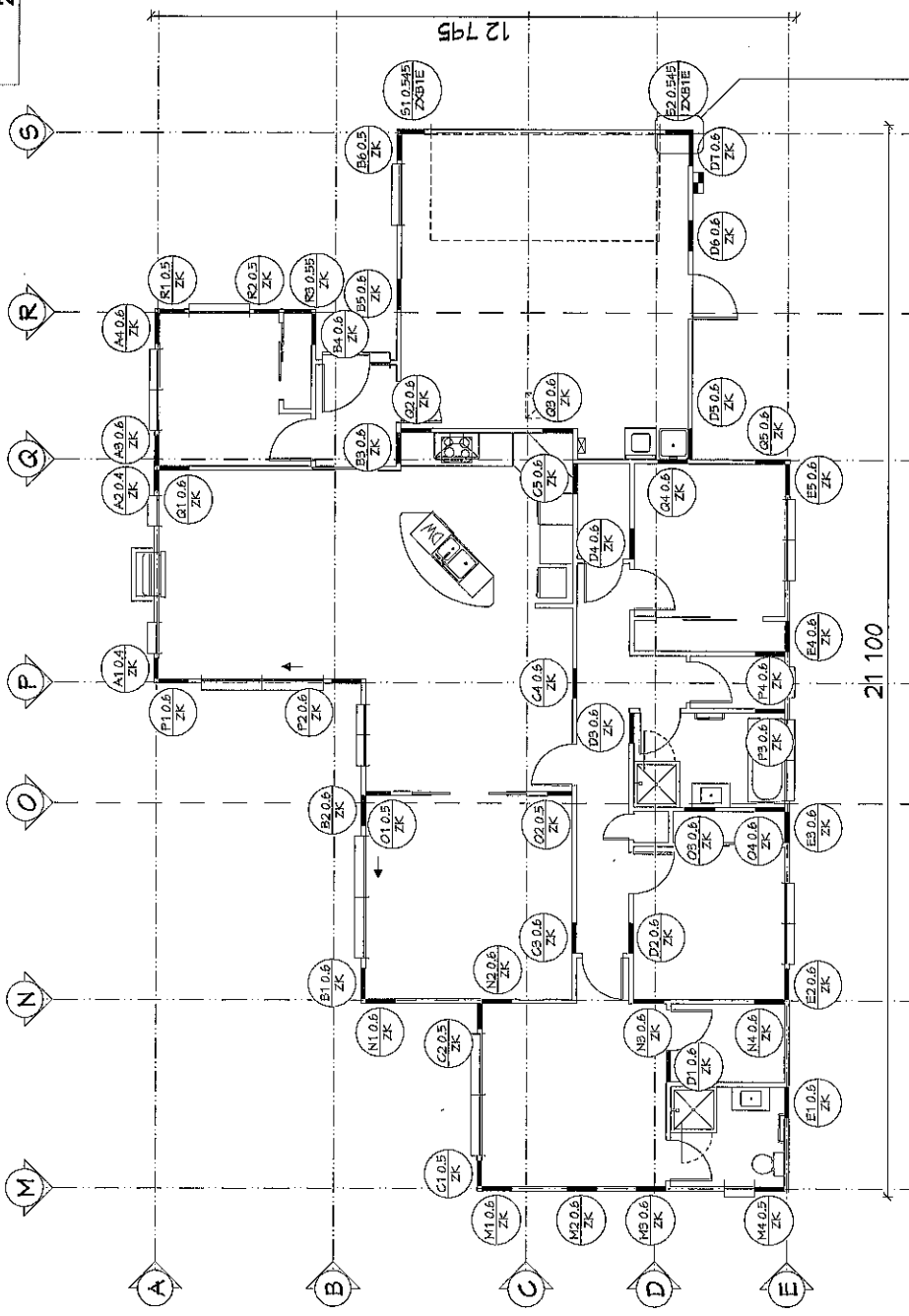
TERRITORIAL AUTHORITY:
Christchurch City Council
Living Zone 1

SITE DATA: for zones upto & including
Ground Bearing: REF 6/EOTEK
Sub-soil Classification: E High
Wind Zone: 2
Earthquake Zone: C
Exposure Zone: 3
Climate Zone: 5
Rainfall Intensity: 55mm/hr
Snowload: 1.0kPa (open ground)

DRAWING TITLE:
Bracing plan

JOB NO: 40385 SALES: Trevor
ZOG No: Z2223 DRAWN: 005
PLAN DATE: 18/10/2013
SCALE: 1:100 SHEET No. 10 OF 27

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NOTE: Bracing plan must be supplied to DRAINLAYER, PLUMBER, ELECTRICIAN, and FLOOR LAYER