



# PRE-SALE BUILDING INSPECTION REPORT

for The Estate of Mark Randell

## PROPERTY ADDRESS

3 Brandon Street  
Featherston, Wairarapa  
5710 New Zealand

Inspected by: Scott Topham | Inspection Date: 30 Oct 2025 | Ph: 0211199816

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# Contents

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**03** Summary of Inspection

**04** Inspector

**05** Glossary

**06** Description of Building

**07** General

**08** Areas Inspected

**09** Not Referenced

**10** Interior of Building

**11** Exterior of Building

**12** Roof Exterior

**13** Roof Space

**14** Sub Floor Space

**15** Moisture

**16** Electrical

**17** Plumbing

**18** The Site

**19** Recommendations for Further Inspections

**20** Terms and Conditions

**21** Certificate of Inspection

**22** Appendix

# 03 Summary of Inspection

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## Results of Building Inspection - Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidence of Safety Hazards** in this Residential Building as compared with similar Buildings is considered:

**None**

**The incidence of Action Required Items** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The incidence of Minor Maintenance** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The overall condition** of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

**Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.**

# Overall Condition Comments:

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**The dwelling sits on a small flat section established with garden and fencing with a concrete and metal driveway leading to a carport and standalone garage. Overall the exterior of the home appears well painted but is due for maintenance to the roofing, localised cladding areas and some joinery units to ensure the exterior performs. The interior of the home showed normal wear and tear for the age of the home and improvements can take place overtime.**

**The matters that we recommend require priority attention are further summarised below.**

**- Roof** - Surface rust deterioration was occurring on the metal tiles and flashings. This appears to be due to the original roof coating deteriorating, exposing bare metal; further corrosion could lead to holes in the tiles/flashings. Loose tiles were also sighted where some of the nail fixings have lifted exposing the lap joints, this could lead to water ingress or uplift. A licensed roofer is required to assess the roof to determine the most appropriate repair and reconditioning approach.

**- Cladding** - Cracked cladding sheets were sighted to the road facing wall and entrance area. Some of the sheets around the home did not run from the bottom of the wall to the top and had horizontal joints in place with no flashing details sighted, this is common for older construction. These could be causing water ingress in the wall cavity. The condition of the wall framing is unknown. Repairs or replacement of the cracked sheets are required now and regular and ongoing sealing of the horizontal joints should take place. A licensed builder is required to assess and determine the best repair solution.

**- Doors & Windows** - General deterioration to the paint coating and glazing putty deterioration was sighted to some units. This can allow water to sit on the timber joinery, which could lead to rot. Repairs to the paint coating and glazing putty are required to help seal and protect the timber. A trade-qualified painter should be engaged to complete the work. Also; timber decay was detected in the windows photographed below. A licensed builder should be engaged to repair or replace the defective timber. Further decay could lead to potential water ingress in the wall cavity.

- Gaps were sighted at the joinery to cladding junctions in areas around the home, this could lead to water ingress with wind driven rain. Sealing these junctions will help prevent this, a painter could complete.

**- Plumbing** - An unmarked black plumbing pipe was visible in the roof space. Due to the age of the dwelling, investigation by a plumber is recommended to help determine if this is duct qest piping

**- Moisture** - The majority of the moisture readings were acceptable, with the exception of the elevated readings located below. Further investigation and invasive testing must take place. The in-wall framing condition is unknown until this happens

- Wall behind the fireplace, along the bottom plate junctions

- Toilet room walls, at bottom plate height and up to 100mm

Maintenance is essential for all houses. I recommend washing down the house and clearing gutters and drains regularly. It is also essential to keep enough paint on exterior cladding, as paint acts as a protective coating. It is crucial to always ensure your house is weathertight and sealed.

I recommend having a lawyer read over the lim report and check if there are outstanding consents or any information you may need to be aware of about this property. Ask for all manuals and warranties for recent

work that has taken place.

### Notes & Recommendations

- As a precautionary measure, we recommend borer & pest control treatment by a specialist.
- The chattels, power points, and exterior sensor lights were not tested during this inspection. It is recommended that these be checked during the final inspection before settlement.
- Given the age of the house, it is unknown if products contain asbestos or lead without having lab testing. Assessing a building for the presence of asbestos requires a specialised invasive inspection.
- The electrical power points & switches were not tested.
- It is unknown if wall insulation is in place as this cannot be visually seen. Thermal imaging could determine this.
- Testing fireplaces or heating is outside the scope of the inspection. We recommend that a specialist perform testing prior to use.
- This inspection was limited to the property's main dwelling and immediate grounds.
- Testing sewer, septic, or water supply systems was outside the scope of this inspection.

### Please Note:

This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This report is for the use of The Estate of Mark Randell and cannot be used against CheckHome in anyway. This is the opinion of the building inspector on the day of the inspection

**This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.**

# 04 Inspector

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**Inspector:** Scott Topham, Qualified Builder  
Inspector

**Mobile Phone:** 0211199816

**Email:** scott@checkhome.co.nz

# 05 Glossary

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For a list of common building terms and elements, visit

- <https://www.buildingguide.co.nz/glossary-of-building-terms/>
- <https://www.building.govt.nz/building-officials/bca-accreditation/terms-and-abbreviations>

They may be helpful, but they are not required on every report.

# 06 Description of Building

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Type of Building:

Residential

Style of Building:

House

Number of Stories:

Single storey

Age of Building:

50-75 years old

Roof Covering:

Metal profile tile roofing

Roof Frame:

Timber hand pitched, Steel framed

External Walls:

Fibrous cement sheeting

Floor Construction:

Concrete slab

Foundation:

Concrete slab

Building Frontage Faces:

South

Building Furnished:

Yes

Occupied By:

Vacant

# 07 General

---

Weather Conditions at the time of the inspection:

Clear & sunny

Recent weather conditions:

Clear & sunny

Date and time of inspection:

30 Oct 2025 12:00 PM

Wind Zone:

Very high wind zone (BRANZ Maps)

Wind Driven Salt Exposure Zone:

Zone B - Low risk (BRANZ Maps)

Onsite attendees:

Agent

Have there been any disclosures from the homeowner, agent or representative about this property?

Yes - The agent disclosed: - The lounge door blew out in the recent winds and has been temporarily secured.

Inspection Requested:

Pre-Sale Building

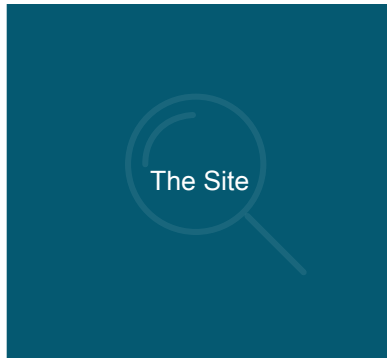
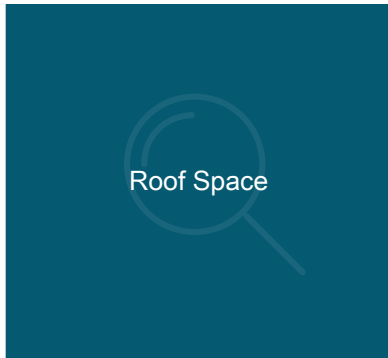
Terms & Conditions Accepted:

Yes

# 08 Areas Inspected

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The Actual Areas Inspected Were:



# 10 Interior of Building

## Access Limitations

Furniture, storage & closed wardrobes/cupboards restricted the full view of the interior walls and floors in areas.

## Overview

### Interior Overview Photos



#6



#7



#8



#9



#10



#11



#12



#13



#14



#15



#16



#17

## Ceilings/Ceiling linings

Plasterboard ceiling linings

### Ceiling Lining Details:

- A small number of damaged tiles were sighted, repairs are recommended to prevent a hazard with these damages areas dropping down.

### Rating:

Minor Maintenance



#18



#19

## Walls/Wall linings

Plasterboard wall linings with wallpaper and paint finish

## Floor Construction

The flooring was a concrete slab construction

### Floor levels:

- Variances in floor levels were detected in areas of the dwelling. The floor levels were spot-checked with a Dewalt laser line level. The variance in floor levels were outside the MBIE slope guidelines of 1:50 in the front left bedroom, a crack in the foundation could be seen to the external side of this area. A foundation specialist would be required to determine if remedial work is required. A detailed floor-level assessment will determine the overall levels.

### Rating:

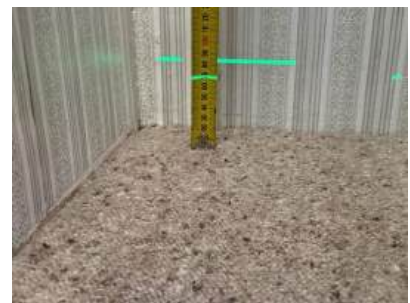
Further investigation



#23: 55mm



#24: 70mm



#25: 70mm



#26



#27



#28

## Floors/Floor coverings

Carpet floor coverings



#30: Bedroom one.



#31



#32

## Windows; Timber framed

Timber joinery units. The majority of units were operating as expected for their age and style.

### Window Details:

- Some of the windows were stiff to operate, this may be due to lack of use. Adjustment by a builder/joiner is recommended to allow the units to open and close freely. A cracked pane of glass was sighted to the lounge window, replacement of the affected pane is recommended by a glazing specialist.

### Rating:

Minor Maintenance



#33



#34: Broken window. Lounge northern wall.



#35

## Windows & doors joinery; Glazing type

Single glazed units were in place.

## Doors/Frames

The majority of accessible doors operated as expected for their age and style. Refer to the photographs and details below.

### Door Details:

- The handles of the aluminium sliding doors were loose and missing, upgrades are recommended to ensure the doors can lock and operate correctly, the fixed pane of the lounge unit has also been temporarily secured in place, an aluminium joiner should be engaged to assess and determine a long term solution.

- The front timber door sill is loose, this is a trip hazard, engage a builder to secure this in place.

### Rating:

Minor Maintenance



#36



#37: temporary securing of fixed door sash



#38: lose handle lounge



#39: missing handle dining room



#40: door sill is loose

## Kitchen; Bench-top

Laminate bench-top, Stainless Steel bench-top



#41



#42

## Kitchen; Cabinetry

The cabinetry operating as expected for its age.



#43



#44

### Kitchen; Ventilation

The kitchen had no range hood/extractor fan.

Although not a requirement for an existing owner-occupied dwelling, the installation of a sufficient extractor fan or range hood would help reduce moisture in the kitchen.

Rating:

Recommendation



#45

### Kitchen; Sinks/taps

The water supply was operating correctly. The kitchen hot tap was leaking at the swivel while in use. Engage a licensed plumber for repairs.

Rating:

Minor Maintenance



#47



#48: Hot water tap leaking when in use.



#49

## Kitchen; Floor coverings

Vinyl floor coverings

### Flooring Covering Details:

- Due to the age of the dwelling, the vinyl or the backing of the vinyl used for the floor coverings could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product sealed and not disturbing, we recommend testing prior to any remedial works taking place.



#50



#51



#52

## Bathrooms/WC; Cisterns/pans/bidets

The toilet was operating correctly and was stable and rigid.



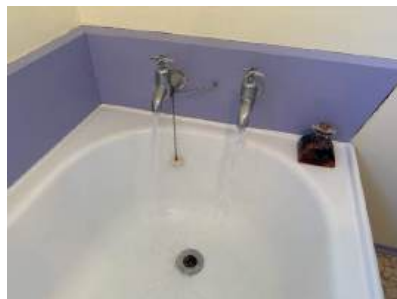
#53

## Bathrooms/WC; Taps

The taps were operating correctly with no leaks detected.



#56



#57



#58: Acceptable reading

## Bathrooms/WC; Floor coverings

### Vinyl floor coverings

#### Flooring Covering Details:

Deterioration was sighted to the floor covering at the vanity. Due to the age of the dwelling, the vinyl or the backing of the vinyl used for the floor coverings could contain asbestos, this is unknown without lab testing. Testing should take place prior to repairs or removal, disturbing this area should be avoided. Engage a floor covering specialist to cover this to help prevent a hazard.

#### Rating:

Further investigation



#59



#60



#61

## Bathrooms/WC; Bath

Bath. Refer to photographs and details below.

#### Details:

- The bath to wall junction is not sealed, the installation of a sealant would help reduce potential moisture damage to the wall linings around the bath and the flooring below the bath.

#### Rating:

Minor Maintenance



#62



#63



#64

## Bathrooms/WC; Shower

The shower unit was showing signs of deterioration. Refer to photographs and details below.

#### Shower Details:

- Deterioration was detected to the shower unit. The unit does not appear watertight. Engage a plumber or shower installer now to replace this unit.

#### Rating:

Minor Maintenance



#68



#69: timber decay to the shower step



#70: Acceptable reading



#71



#72: nail holes exposed in liners

### Bathrooms/WC; Vanity/basin

#### Other

**Details:**

- A crack was sighted in the basin, replacement of the basin is recommended.

**Rating:**

Minor Maintenance



#73



#74



#75



#76

## Bathrooms/WC; Ventilation

The bathroom had no extractor fan in place.

*Although not a requirement for an existing owner-occupied dwelling, the installation of sufficient extractor fans would help reduce moisture in the bathrooms.*

**Details:** - Condensation damage was evident to the linings, upgrades to the ventilation is recommended to help reduce this.  
**Rating:** Recommendation



#77



#78

## Laundry; Taps

The water supply was operating correctly, with no visible leaks detected.



#79



#80



#81: Acceptable reading

## Laundry; Tub/cabinet

The tub was in working order.



#82

## Laundry; Floor coverings

### Vinyl floor coverings

#### Flooring Covering Details:

- Due to the age of the dwelling, the vinyl or the backing of the vinyl used for the floor coverings could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product sealed and not disturbing, we recommend testing prior to any remedial works taking place.



#83



#84

### All rooms; General

A fireplace was in place. I recommend that a fire tech inspect it to ensure it is working correctly and safe to use.

#### Rating:

Recommendation

# 11 Exterior of Building

## Access Limitations

Vegetation restricted the full view of the exterior cladding and windows in some areas.

## Overview

The exterior of the home is clad in a fibrous cement sheeting with a mixture of timber and aluminium joinery in use.



#85



#86



#87



#88



#89



#90



#91



#92



#93

## Walls/Wall cladding; Fibre cement

Fibre-cement sheet cladding. The paint coating was adequate. Refer to photographs and details below.

### Cladding Information:

- The fibre cement sheeting is directly fixed to the framing, this is a common construction method for the era of the property. Due to the age of the dwelling, the fibre cement product used for the cladding could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product painted and sealed, we recommend testing prior to any remedial works taking place.

### Sheet Cladding Details:

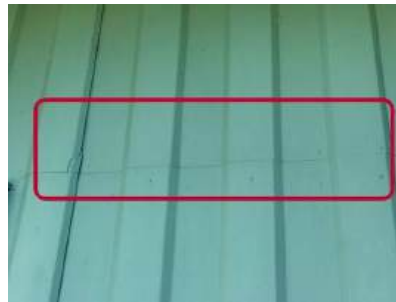
- Cracked cladding sheets were sighted to the road facing wall and entrance area. Some of the sheets around the home did not run from the bottom of the wall to the top and had horizontal joins in place with no flashing details sighted, this is common for older construction. These could be causing water ingress in the wall cavity. The condition of the wall framing is unknown. Repairs or replacement of the cracked sheets are required now and regular and ongoing sealing of the horizontal joins should take place. A licensed builder is required to assess and determine the best repair solution.

### Rating :

Action Required



#94: Southern wall



#95: no visible flashing detail at the horizontal joins



#96: Southern wall



#97: entrance

## Walls/Wall cladding; Fibre cement

### Sheet Cladding Details:

- The lounge northern cladding has below-recommended clearances to the surrounding ground levels. This is detailed as a risk area for potential water ingress to occur. Creating a sufficient clearance between the cladding and the ground/garden is recommended now to help prevent potential deterioration of the cladding and water ingress to the wall cavity.

### Rating :

Minor Maintenance



#98

### Wall/Cladding; Flashings/Penetrations

Unsealed cladding penetrations were detected. Refer to photographs and details below.

**Cladding Penetration Details:** - The steel framing members pass through the cladding and gaps were sighted. These are higher-risk design features that could potentially cause water ingress into the wall cavity. The penetrations require sealing around the perimeter to ensure they are watertight. A licensed builder should be engaged to complete the work. These areas should be regularly maintained and monitored.

**Rating:** Minor Maintenance



#99



#100



#101

### Doors & Windows

Timber door and window joinery. Refer to photographs and details below.

**Timber Joinery Details:** - General deterioration to the paint coating and glazing putty deterioration was sighted to some units. This can allow water to sit on the timber joinery, which could lead to rot. Repairs to the paint coating and glazing putty are required to help seal and protect the timber. A trade-qualified painter should be engaged to complete the work. Also; timber decay was detected in the windows photographed below. A licensed builder should be engaged to repair or replace the defective timber. Further decay could lead to potential water ingress in the wall cavity.

- Gaps were sighted at the joinery to cladding junctions in areas around the home, this could lead to water ingress with wind driven rain. Sealing these junctions will help prevent this, a painter could complete.

**Rating:** Action Required



#103



#104: Timber decay to toilet window.



#105: Laundry window is missing part of the facing board



#106: Entrance window is missing part of the facing board.



#107: Timber decay. Lounge western window.



#108: Gaps at cladding junctions

### Doors & Windows

Aluminium door & window joinery. The units appeared in acceptable condition.



#109

### Balconies/Patios/Decks & Verandahs

The patio was free of excessive movement. Refer to details below.

#### Patio Details:

- A small verandah has been constructed, this has been directly attached to the dwelling and no flashing detail was in place. This could lead to water ingress around the bolt penetrations (the moisture levels were acceptable to the internal side of this area at the time of inspection) As a matter of best practice a sufficient flashing should be considered to help prevent the chance of future issues.

#### Rating:

Minor Maintenance



#111



#112



#113: improvement to the support at the end of the verandah is recommended.

## General

Rust was sighted to the exterior steel framing members, this is common for older homes, sanding back, rust treatment and re-coating should take place to help prevent further rusting. A painter or builder would completed.

Rating:

Minor Maintenance



#114



#115



#116

## Weathertightness Risk Assessment:

The areas located below are high risk areas and have the potential for future water tightness issues. These areas should be regularly assess and maintained regularly by professional trades.

Risk factors:

*Very High wind zone (BRANZ Maps),  
Direct fixed sheet cladding system,  
Cladding in direct contact with ground,  
Un-flashed sheet joins,  
Cladding penetrations*

# 12 Roof Exterior

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## Access Limitations

No physical access was gained to the roof due to height and safety. The roof was inspected off an extension ladder from different vantage points around the roof.

## Overview

The roof consists of metal profile tiles with pvc guttering in use.



#117



#118



#119



#120



#121



#122



#123

## Roof Tiles; Metal Profile

Metal profile tiles and metal flashings. Refer to photographs and details below.

<b>Roof Information:</b>	- Be aware that some components of this type of tile have been known to contain asbestos, this cannot be confirmed without lab testing, testing is recommended prior to any roof works being undertaken.
<b>Tile Details:</b>	- Surface rust deterioration was occurring on the metal tiles and flashings. This appears to be due to the original roof coating deteriorating, exposing bare metal; further corrosion could lead to holes in the tiles/flashings. Loose tiles were also sighted where some of the nail fixings have lifted exposing the lap joints, this could lead to water ingress or uplift. A licensed roofer is required to assess the roof to determine the most appropriate repair and reconditioning approach.
<b>Rating:</b>	Minor Maintenance



#125: rust deterioration



#126: rust deterioration



#127: rust deterioration



#128: lifted nail causing lap joints to be exposed



#129: lifted nail



#130: coating deterioration



#131: lifted nail



#132: coating deterioration

## Roof Penetrations

The visible roof penetration appeared to be operating as expected for its age and style.



#133

### Gutters & downpipes

PVC guttering. Refer to photographs and details below.

#### Guttering Details:

- The gutters were holding water as they were falling away from the downpipes and have warped. This could cause the guttering to overflow under rain. Replacement of the guttering and pitching the guttering towards the downpipes is recommended to prevent overflowing and excess water around the home. A licensed roofer/plumber should assess and complete.

#### Rating:

Minor Maintenance



#135



#136



#137

### Fascias/Barges/Eaves

Timber fascia/barge boards, Fibre cement eave linings

#### Fascias/Barges/Eaves Information:

- Due to the age of the dwelling the fibre cement sheeting used for the eave linings could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product painted and sealed, we recommend testing prior to any remedial works taking place.

#### Fascias/Barges/Eaves Details:

- Minor deterioration to the paint coating was sighted in localised areas; improvement of the paint coating would help protect and seal the boards/linings. A trade-qualified painter should be engaged to complete.

#### Rating:

Minor Maintenance



#138



#139



#140

## Chimneys

Concrete chimney. Refer to photographs and details below.

### Chimney Details:

- Large cracks were sighted to the concrete chimney, which could affect the structure of the chimney. As this is no longer in use removal should be considered. This can take place by a roofer or builder.

### Rating:

Minor Maintenance



#142



#143



#144

## Weathertightness Risk Assessment:

The areas located below are high risk areas and have the potential for future water tightness issues. These areas should be regularly assess and maintained regularly by professional trades.

### Risk factors:

*Very High wind zone (BRANZ Maps),  
Roof penetrations*

# 13 Roof Space

## Access Limitations

The roof space was only inspected from some removed ceiling tiles. Insulation was covering the ceiling linings.

## Overview

The roof space consists of steel framing with timber hand pitched rafters and a suspended ceiling. Fibreglass insulation was in use.



#146



#147



#148



#149



#150



#151



#152



#153



#154



#155



#156



#157

## Roof framing

Steel frames and timber hand-pitched roof framing. The framing appeared to be operating as expected.



#159



#160



#161

## Roofing paper

Roofing paper was in place. This was free of tears and operating as expected.

*Roofing paper is installed to provide backup waterproofing for the roof cladding in case of leakage.*



#162



#163



#164

## Insulation

The majority of the roof space was insulated, although gaps in the insulation were sighted. Refer to photographs below.

*Ceiling insulation will provide a thermal barrier to help prevent the transfer of heat energy coming in and out of the home. Installing insulation will not only improve the comfort of the home but also save on heating and cooling energy bills.*

### Insulation Details:

- The insulation in place is an older insulation and has degraded overtime and some gaps were sighted, upgrades can take place if desired.

### Rating :

Recommendation



#165



#166



#167

# 14 Sub Floor Space

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## Access Limitations

The dwelling is built on a concrete slab foundation. Therefore, there is no subfloor to inspect.

# 15 Moisture

This was a non invasive moisture test to random areas of possible concern (like around the windows and doors on the exterior walls and wet areas; or areas with pipe work running through them). Accessible areas have been checked on the interior to check for moisture within the wall cavity. The moisture measurement is up to approximately 40mm deep. Levels will vary from house to house and any elevated reading will be recorded and further investigation will be required. The conditions and treatment type of internal framing is not known. An invasive instrument will never be used to prevent damage.

Recommendations: To keep readings down, keep exterior watertight and weather tight, ensure there is a sufficient amount of paint on the building, ensure the flashings meet the building code NZS 3604, and the roof is water tight.

## Access Limitations

Furniture and storage restricted full access of the interior in some areas

## Non-Invasive Moisture Reading Locations

The majority of the moisture readings were acceptable, with the exception of the elevated readings located below. Further investigation and invasive testing must take place. The in-wall framing condition is unknown until this happens.

### Moisture Information:

- Invasive moisture testing is required in the locations of elevated moisture readings detailed below to determine the in-wall framing condition.

### Location of Elevated Moisture Reading(s):

- Wall behind the fireplace, along the bottom plate junctions

### Rating:

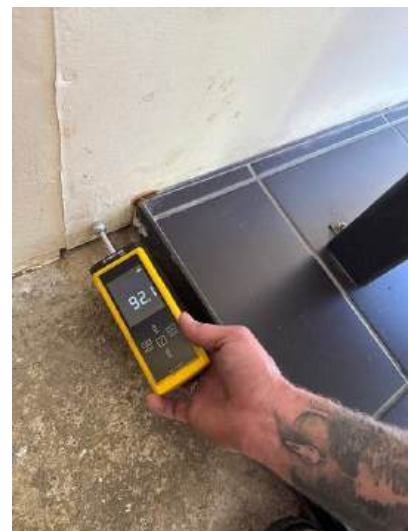
Further Investigation Required



#169



#170



#171



#172

### Non-Invasive Moisture Reading Locations

<b>Moisture Information:</b>	- Invasive moisture testing is required in the locations of elevated moisture readings detailed below to determine the in-wall framing condition.
<b>Location of Elevated Moisture Reading(s):</b>	- Toilet room walls, at bottom plate height and up to 100mm
<b>Rating:</b>	Further Investigation Required



#174



#175



#176



#177



#178



#179



#180

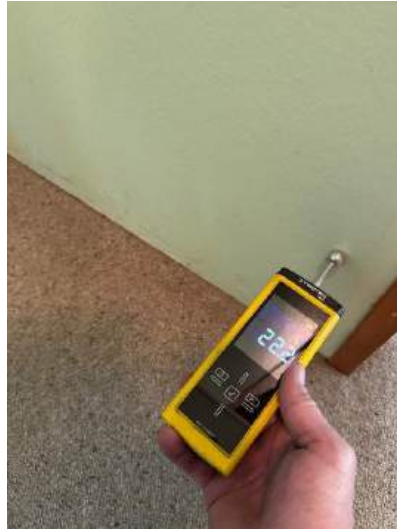
### Moisture Instrument Used

Trotec T660

*The Trotec T660 is a non invasive moisture meter that measures capacitance. This has a scale of 0 – 199 & detects up to 40mm deep. In general any reading above 60 generally indicates there could be moisture entering the building envelope*



#181



#182

# 16 Electrical

Please note that our inspectors are not qualified electricians. Due to the nature of construction, many electrical systems may be concealed within the building envelope. The inspection report is limited to observable areas only. Functionality testing and assessment of defects or concerns related to appliances, such as alarms, smoke alarms, heating, ovens, hobs, waste disposals, and range hoods, are not included in the scope of the inspection.

## Lights

Older style switches were in place, as photographed below. A licensed electrician would determine if upgrades to the switches are recommended.

Rating:	Recommendation
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#183



#184: missing light bulb in lounge

## Power Points

Some older style hot points were still in place, as photographed below. A licensed electrician would determine if upgrades to the switch are recommended.

Rating:	Recommendation
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#185

## Electrical Cable Type

TPS wiring was sighted, this style wiring is currently compliant

*As this is not an electrical inspection, for further information regarding the electrical cable type & condition, a licensed electrician is required to assess.*



#186

### Meter Board

Smart meter

Meter Location:	Side of house
Earth Stake Location:	Side of house



#187



#188



#189

### Fuse Switchboard

A mixture of older fuses and circuit breakers were sighted to the fuse switchboard. Refer to photographs and details below.

<b>Fuse Switchboard Details:</b>	- A licensed electrician is required to inspect the fuse board to determine what fuses are in use and if upgrades are recommended.
<b>Potential asbestos switch board:</b>	- The older style switchboard could potentially contain asbestos, this is unknown without lab testing, we recommend testing prior to any remedial works taking place to this board.
<b>Fuse board location:</b>	Side of house
<b>Rating:</b>	Further Investigation



#190

## Overhead Cables

The over head wires were free of trees or other vegetation.



#191



#192

## Smoke Alarms

The smoke alarms were flat

I recommend installing new smoke alarms as this can be a safety risk without them. There must be at least one working smoke alarm within 3 metres of each bedroom door or every room where a person sleeps, in multi-storey or multi-level homes (including split levels) there must be at least one smoke alarm on each level or storey.



#193



#194

# 17 Plumbing

This section addresses both the water supply and wastewater drainage. Please note that our inspectors are not qualified plumbers, drainlayers or gas fitters. Due to the nature of construction, many plumbing, drainage and gas systems may be concealed within the building envelope. The inspection report is limited to observable areas only at the time of inspection. (Note: For all underground pipe work, we recommend a CCTV inspection to determine the condition; The condition is unknown until this occurs.)

## Hot Water System

Electric cylinder - Low Pressure System

*Hot water cylinders generally have a lifespan of around 10 - 15 yrs depending on water quality and servicing intervals, servicing is recommended every 3 - 5 yrs. Servicing should include checking the tank and fittings for leaks, checking the electrical components, replacing critical valves and most importantly checking and replacing the sacrificial anode.*

**Age:** Over 20 years  
**Seismic straps:** No seismic straps were in place, seismic straps are installed to prevent movement of the hot water cylinder during an earthquake.



#197



#198



#199

## Plumbing Pipe Type

Copper pipe, PVC, Black pipe (Water)

**Plumbing Details:** An unmarked black plumbing pipe was visible in the roof space. Due to the age of the dwelling, investigation by a plumber is recommended to help determine if this is dux qest piping  
**Rating:** Further Investigation



#203



#204: black pipe in roof space



#205



#206: black pipe in roof space

### Plumbing Details

Plumbing Details. Refer to photographs and details below.

#### Details:

- The header-tank overflow pipe sits flush with the cladding, this could lead to water ingress into the wall cavity, engage a licensed plumber to assess and determine the best method of extending this.

- The vent pipe outside the laundry is of fibrous cement material, due to the age of the dwelling this could contain asbestos, this is unknown without lab testing. CheckHome recommend testing prior to any remedial or upgrading works taking place that could disturb the pipe potentially releasing fibres.

#### Rating:

Minor Maintenance



#209



#210

### Gully Traps

The gully traps were free of movement/cracking and no blockages were sighted.



#212

### Foul Water (Sewer & Waste)

Unable to sight - We recommend further investigation take place by a licensed drain layer to determine the overall drain condition.

### Downpipes/Stormwater

The visible down pipes appeared to be connected to the stormwater system.



#215



#216

### Position of Water Toby

Not located - It is recommended the location of the water toby is disclosed by the vendor or a licensed plumber is engaged to determine the location.

### Water Pressure

- The water pressure was tested and appeared sufficient for the current system in place.

# 18 The Site

## Access Limitations

The garage was locked at the time of inspection with no key supplied; therefore, the interior of the garage was not inspected., Vegetation restricted access and views to the majority of the walls, gates and fencing.

## Overview

### Site Overview Photos



#217



#218



#219



#220



#221



#222



#223



#224



#225



#226



#227



#228



#229

### Out Building; Garage

The garage appeared to be operating as to be expected for its age. Refer to details below.

#### Garage Details:

- The garage roof ridge flashing has not been completed at the rear of the garage, folding down is recommended to help ensure the ridge to barge flashing junctions are watertight. The flashing has also not been secured in an appropriate screw pattern for a very high wind zone, additional screws should be installed to help prevent the chance of uplift.

#### Rating:

Minor Maintenance



#233



#234



#235

### Out Buildings

The carport appeared to be operating as to be expected for its age.



#237



#238: vegetation in gutter, cleaning is recommended



#239

## Out Buildings

The garden shed was in poor condition. Repairs or removal can take place.

**Out Building Information:** - Due to the age of the dwelling, the fibre cement sheeting used for the cladding could contain asbestos. This is unknown without lab testing. CheckHome advises testing prior to any remedial work.

**Rating:** Observation



#241



#242



#243

## Paths and Driveways

The pathways and driveways appeared well-formed, free from any obvious signs of excessive subsidence and safe to walk upon.

**Driveway/Path Details:** - General cracking was sighted, this is commonly due to general settlement. Monitor these, and should they worsen over time, have a concrete specialist or landscaper assess to determine the best repair method.

**Rating:** Observation



#244



#245

## Fencing

The fences and gates were operating as expected for their age and construction. Refer to details below

**Gate Details:** - The front gate has been directly fixed to the cladding. This is detailed as a risk area for potential water ingress to occur. A gap of at least 15mm is recommended at the cladding junction to help prevent deterioration and moisture ingress. A licensed builder is required to assess and determine the best repair solution.

**Rating:** Minor Maintenance



#249: gate latch attached to cladding



#250: wire fence has fallen down at front of property

### Surface water

Surface water. Refer to photographs and details below.

#### Surface Water Details:

- A creek was sighted running through the side of the property, this can be a flood issue and regular clearing and maintenance will be required to help allow correct flow. It is recommended that the council files are checked in regards to any past flooding that may have been recorded and the local flood maps checked to understand this risk. During wet periods, water buildup could occur on the property and potentially against/under the dwelling. Surface water upgrades may help reduce this. Consideration as to engaging a drainage specialist should take place to assess and determine if surface water upgrades are recommended.

#### Rating:

Further investigation



#251: Eastern side of property



#252



#253

# 19 Recommendations for Further Inspections

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## Recommendations for Further Inspections:

- CheckHome recommends the council records & the lim report are both checked by a property lawyer before purchase
- A licensed plumber should be engaged to inspect and advise on the elevated moisture and shower upgrades located in the report
- A licensed roofer should be engaged to inspect and advise on the roof repairs located in the report
- A licensed electrician should be engaged to inspect and advise on the older fuses located in the report
- A drainage specialist should be engaged to inspect and advise on the creek and potential surface water upgrades located in the report
- Yearly maintenance reports are recommended

# 20 Terms & Conditions

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## CheckHome building inspection terms and conditions

1. These terms and Conditions govern the property inspection services that CheckHome will provide to you. You must confirm in writing that you accept the terms and conditions before CheckHome Will provide the property inspection services.
2. The Terms and conditions cover:
  - the scope of CheckHome's inspection;
  - limitations on the resulting inspection report; and
  - CheckHome's terms of trade.

## Applicable standard

3. This is a non-invasive inspection. We believe our report encompasses NZS 4306:2005 Residential Property Inspection. A copy of this standard is available at our office for inspection, or you may obtain a copy from Standards New Zealand.

## Intellectual property

4. The inspection report is the intellectual property of, and upon creation the copyright vests in, CheckHome.

## Inspection report personal to you

5. The inspection report will be prepared exclusively for you. You agree that the inspection report is personal to you and shall not be assigned or disclosed or distributed (other than disclosed or distributed to professional advisors) without the written permission of the CheckHome.
6. CheckHome accepts no liability to any person other than you. Any third party relying on the contents of the inspection report does so at their own risk and CheckHome disclaims any liability for any loss (direct or consequential), cost or damage resulting.

## Limitation of liability

7. To the extent permitted by legislation, if CheckHome becomes liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the resulting report, its liability shall be limited to a sum not exceeding five times the fee paid, or payable, to CheckHome.
8. CheckHome will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured, and you agree to indemnify CheckHome in respect of any claims concerning any such loss.

## Payment

9. You are responsible for paying CheckHome's fee. An invoice is sent with the inspection report. Total payment is required within 7 days of receipt of the invoice. An additional service charge of \$100 will be added to any debt collection fees.
10. You must pay CheckHome default interest compounding monthly on all monies due but unpaid, for the period from the expiry of the time provided for payment until actual payment. The right to default interest is additional to any other remedy that CheckHome may be entitled to. The rate of default interest is 7% per month.
11. CheckHome is entitled to recover from you, on an indemnity basis, all costs and expenses, including legal costs on a solicitor/client basis, incurred in connection with the recovery of any amount due and payable by you to CheckHome.

### **Cancellation Fee**

12. A cancellation fee may be charged by CheckHome if an inspection is cancelled within 24 hours of the time arranged. The amount of the cancellation fee is recorded on CheckHome's website on the Pricing page:

<http://checkhome.co.nz>

### **Site Re-check Fee**

13. Your engagement of CheckHome allows for one site visit per inspection. If, for any reason, you request an additional site visit, it will incur a site re-check fee. The amount of the site re-check fee is recorded on CheckHome's website on the Pricing page

<http://checkhome.co.nz>

### **Consumer Guarantees Act**

14. Nothing in these terms and conditions limits your rights under the Consumer Guarantees Act 1993.

### **Scope of the inspection - visual inspection only**

15. The scope of CheckHome's inspection is limited to a visual inspection of the components of the building that the inspector has reasonable access to and that are in the inspector's clear line of sight.
16. The inspection will not include:
  - examination of any areas or components which are concealed or closed behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which require the moving of anything which impedes access or limits visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil);
  - intrusive or destructive inspection of any part of the building or any building component, disassembly of equipment, or the removal or testing of electrical or other building components or materials.

### **Multi-unit property**

17. In a multi-unit property, the inspection and resulting report will only cover the condition of the interior and accessible parts of the immediate exterior of the unit and any related accessory units.

### **Reasonable access to be provided**

18. You agree to ensure that reasonable access can be gained to the property, including but not limited to the roof cavity and foundation spaces and any such spaces if they exist are cleared for an inspection to be carried out.
19. 'Reasonable access' means access that is safe, unobstructed and which has a minimum clearance of 600mm for a roof cavity and 500mm for a floor cavity.
20. For safety reasons, access to the exterior of any roof surface for inspection purposes will only occur if:
  - the Weather is fine;
  - the Roof is dry;
  - the roof slope does not exceed 35°; and
  - the roof height does not exceed 2m.
21. Any area of the property that cannot be reasonably accessed will not be inspected and will be excluded from any inspection report. The report will state the areas that could not be inspected.

## Scope of the inspection report

22. The inspection report should be seen as a reasonable attempt to identify any significant fault or defect visible at the time of the inspection, rather than an all encompassing report dealing with the building from every aspect. The reporting of any significant fault or defect is on an exceptional basis, rather than reporting on items, which are in an acceptable condition for their age.
23. We define significant fault or defect as 'a matter that requires substantial repairs or urgent attention and rectification'.
24. We will address the significant fault and/or defect in the summary section of the inspection report as maintenance or remedial work.

## Limitations of the inspection report

25. The inspection report is intended only as a general guide to help you make your own evaluation of the overall condition of the building and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase.
26. The inspection report expresses the opinions of the inspector, based on his or her visual examination of the conditions that existed at the time of the inspection only.
27. The inspection and resulting report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.
28. All building components and conditions which, by the nature of their location are concealed, deliberately hidden, camouflaged or difficult to inspect are excluded from the report.
29. Any suggestions or recommendations contained in the inspection report are suggestions only and it is the responsibility of the person or persons carrying out any design or building work to ensure that the most appropriate remedy is carried out in conjunction with any further discoveries, warranties or manufacturer's recommendation and warranties, and any necessary local authority concerns conveyed prior to proceeding with remedial work.
30. Inspection of the systems at the building are outside the scope of our inspection report. The inspector will, however, conduct a cursory check of the hot water system, the plumbing system, and the electrical system. You should note this will only be the opinion of the inspector, who is not a qualified plumber, electrician or gas fitter.
31. The inspection and resulting report should not be construed as a compliance inspection of any building, legal or territorial authority standards, codes or regulations. The inspection report is not intended to be a warranty or guarantee of the present or future weather tightness, adequacy or performance of the structure, its systems, or their component parts. The inspection report does not constitute any express or implied warranty of merchantability, fitness for use or habitation, or building code compliance and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or extended life of components are general statements based on information about similar components and occasional variations are to be expected between such estimates and actual experience.
32. You accept that the inspector will not detect some faults because:
  - The fault only occurs intermittently.
  - Part of the building has not been used for a while and the fault usually occurs after regular use (or detection of the fault would only occur after regular use).
  - The type of weather that would normally reveal the fault is not prevailing at, or around, the time of the inspection.
  - The fault has been deliberately concealed.
  - Furnishings are obscuring the fault.
  - We have been given incorrect information by you, the vendor, the real estate consultant, or any other person.
  - The fault is/was not apparent on a visual inspection.

## Disputes

33. Should any dispute arise as a result of the inspection or resulting report, it must be submitted to CheckHome in writing immediately.
34. You agree that upon raising a dispute, the contents of the inspection report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved.
35. You agree that if, after raising a dispute, you used the inspection or resulting report to make an unconditional offer or confirm the sale and purchase agreement, that you waive all of your rights to continue with the dispute, and/or raise any future dispute or claim about the inspection or resulting report with CheckHome.
36. In the event of a claim/dispute regarding damage to a building, you will allow CheckHome to investigate the claim prior to any repairs to the building being undertaken or completed. You agree that if you do not allow CheckHome to investigate the claims of damage before any repairs are carried out, that you waive your rights to continue with and/or make any claims against CheckHome.
37. In the event of any dispute, you agree not to disturb, alter, repair, or attempt to repair anything that may constitute evidence relating to the dispute without first providing CheckHome with a reasonable opportunity to reinspect the building, except in the case of an emergency. You agree that if you do not provide CheckHome with a reasonable opportunity to reinspect the building before anything that may constitute evidence relating to the dispute is disturbed, altered, or repaired, that you waive your rights to continue with and/or make any claims against CheckHome.



# 21 Certificate of Inspection

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## Certificate of Inspection in encompassing NZS 4306:2005

<b>Client:</b>	The Estate of Mark Randell
<b>Site Address:</b>	3 Brandon Street Featherston
<b>Inspector:</b>	Scott Topham
<b>Company:</b>	CheckHome Wairarapa Limited
<b>Qualifications:</b>	Qualified Builder
<b>Report Type:</b>	Pre-Sale Building Inspection Report
<b>Date of Inspection:</b>	30 Oct 2025
<b>Areas Inspected:</b>	Interior of Building, Exterior of Building, Roof Exterior, Roof Space, The Site

### Certification

I hereby certify that I have carried out the inspection of the property at the above address encompassing the only recognised standard in New Zealand, NZS 4306 2005 Residential Property Inspection and I am competent to undertake this inspection and comprise a certified report on this asset.

An inspection carried out encompassing NZS 4306 2005 is not a statement that a property complies with the requirement of any regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property inspection. Refer to NZS 4306 2005 for further detail.

Signature



On behalf of CheckHome Wairarapa Limited

3 November 2025

# 22 Appendix

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## Appendix - Definitions

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**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above Average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average:** The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Safety Hazard:** Is a Defect requiring building works to avoid unsafe conditions.

**Action Required:** Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Maintenance:** Any Defect other than what is described as a major defect.

**Further Investigation:** Is an issue considered important to bring to your attention, which may or may not be a Safety Hazard, Action Required item or a Minor Maintenance item.

**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.



# CheckHome.

## Building Inspections

**Inspecting Throughout  
New Zealand**



### PRE PURCHASE/ SALE INSPECTION

\$645 (Pending Size)



### HANDOVER REPORT

\$745 (Pending Size)



### HEALTHY HOMES REPORT

\$350 (Pending Size)



### MAINTENANCE REPORT

\$750 (Pending Size)



### COMMERCIAL INSPECTION

\$895 (Pending Size)



### BUILDING CONSULTANCY

(Quoted on a  
case by case basis)



### VIEW MORE / BOOK YOUR NEXT INSPECTION

To view more that we  
have to offer or make a  
booking, use our QR  
code or head to our  
website  
[www.checkhome.co.nz](http://www.checkhome.co.nz)



## 100% NZ OWNED & OPERATED

